

**WENATCHEE HISTORIC PRESERVATION BOARD
REGULAR MEETING
November 1, 2023**

AGENDA

- I. **CALL TO ORDER: 4:30 PM**

- II. Workshop: Proposed modification at Wenatchee Fire Station. Meeting will start at 301 Yakima Street in City Council Chambers and move across the street to 136 S Chelan Ave to tour building.

- III. **Reconvene meeting at City Hall Council Chambers 5:30pm**

- IV. **ADMINISTRATIVE AFFAIRS**
 - A. Approval of the minutes from the regular meeting of October 4, 2023

- V. **PUBLIC COMMENT PERIOD (10 MINUTES)**

Comment for any matters not identified on the agenda.

- IV. **OLD BUSINESS**

None

- V. **NEW BUSINESS**
 - 1. Public Hearing: HP-23-06 Certificate of Appropriateness (154 S Franklin St)
 - 2. Public Hearing: HP-23-07 Certificate of Appropriateness (Chase Park)
 - 3. Staff update

- VI. **OTHER**

- VII. **ADJOURNMENT**

Wenatchee City Hall is open for the public to attend meetings in person. The public may also participate in the meeting via phone by calling: (509) 888-3298, passcode 98368#. If you have questions about participating in the meeting, please contact Kirsten Larsen, Senior Planner, at klarsen@wenatcheewa.gov or (509) 888-3249.

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Mayor's office at (509) 888-6204 (TTY 711). Notification 72 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to the meeting (28 CFR 35.102-35.104 ADA Title 1.)

MINUTES

I. CALL TO ORDER

The meeting was called to order at 5:30 p.m. with the following members in attendance: Heather Ostenson, Blythe Kelly, Bob Culp, and Jon Campbell. Mark Seman and Darlene Baker were absent. City Planning staff was represented by Stephen Neuenschwander, Planning Manager; Kirsten Larsen, Senior Planner; Eva Osburn, Administrative Assistant.

II. ADMINISTRATIVE AFFAIRS

A. Approval of the minutes from the regular meeting of September 6, 2023.

Ostenson asked for amendments and none were given. Jon Campbell moved to approve the minutes from the September 6, 2023 meeting. Bob Culp seconded the motion. The motion carried unanimously.

III. PUBLIC COMMENT PERIOD (10 MINUTES)

Justin Martinez Smith from 622 Douglas Street thanked the Board for the window repair workshop and offered his services for future workshops as he is repairing his windows at his home.

IV. NEW BUSINESS

- A. Stephen Neuenschwander, Planning Manager, gave a presentation on some amendments to the sign code which would allow digital signs in the Historic Entertainment Overlay District. It is out for a 60-day comment period. It will then go to the Planning Commission and to City Council for approval. Board members asked questions of staff.
- B. Kirsten Larsen, Senior Planner, gave a presentation on the Historic Home Tour. The Museum will be partnering with the City for the tour. The date will be May 18, 2024 with the hope of 10 sites. 2-3 people per site will be needed per site. The Museum will get volunteers and host a reception. A list of homes will be created and then reach out via phone and email. The list of homes will need to be set by January.
- C. Kirsten Larsen, Senior Planner, gave an update from the window repair workshop. Twenty plus people attended.

V. OTHER

VI. ADJOURNMENT

With no further business to come before the Historic Preservation Board the meeting was adjourned at 6:08 p.m.

Respectfully submitted,
CITY OF WENATCHEE
COMMUNITY DEVELOPMENT DEPARTMENT
Eva Osburn, Administrative Assistant

STAFF REPORT
HP-23-06, 154 S. FRANKLIN AVENUE

TO: Wenatchee Historic Preservation Board
FROM: City of Wenatchee Community Development Staff
RE: Certificate of Appropriateness for 154 S. Franklin Avenue
DATE: October 25, 2023

I. SUMMARY OF REQUEST

Description of Request: This is an application for a Certificate of Appropriateness submitted by the property owner for removal of the planter strip in the public right-of-way adjacent to Idaho Street associated with the property located at 154 S. Franklin Avenue. The planter strip along S. Franklin Avenue is proposed to stay. This residence is listed as a contributing, historic structure in the Grandview Historic District and is currently receiving Special Property Tax Valuation. Application materials are included as Attachment A.

II. GENERAL INFORMATION

Applicant / Owner: Cromwell and Geraldine Warner
154 S. Franklin Avenue
Wenatchee, WA 98801

Department Review: City of Wenatchee Community Development Staff

Location and/or legal description: The subject property is located at 154 S. Franklin Avenue and identified by Assessor's Parcel Number 22-20-10-586-570. The legal description for the property is Grandview Addition to Wenatchee, Block 66, Lots 23-24, 0.28 acres.

Zoning District: Residential Moderate (RM) and Grandview Historic District (GHD)

Comprehensive Plan Designation: RM and GHD

Application Date: The application was submitted on September 4, 2023 and determined complete on September 19, 2023.

History: The house at 154 S. Franklin stands on Block 66 of the Grand View Addition to Wenatchee, platted in 1903. Development on the block took shape largely in the 1920s.

Infill came later in the 1940s and '50s, particularly along Bryan Street. By 1928, lots along Franklin Avenue, about half of lots along Idaho Street contained single-family homes with detached garages.

Although the exact date of construction is not known, this particular parcel was developed by 1921. That year the house first shows up on Sanborn insurance maps, together with a garage at the rear of the house along the alley.

R.L. Polk city directories for the 1929-30 list Albert H. and Alice P. Sylvester as the owner-occupants at this address. Albert at the time was supervisor at the U.S. Department of Agriculture. As the first Supervisor of the newly created Wenatchee National Forest he was responsible for naming more than 1,000 lakes, mountains, streams and prominent points within the Wenatchee National Forest. Margaret H. Sylvester, presumably their daughter, is listed along with her parents as living at the house in 1940. Margaret was a beauty operator at the Mecca Barbers and Beauty Parlor.

The property is significant as one of the earlier homes in the neighborhood. Except for siding changes, it is a relatively unaltered example of the Craftsman style, with a very unusual corner porch and entry feature. (Source: as adapted from the 2003 Historic Property Inventory Form, State of Washington Department of Archaeology and Historic Preservation)

Physical Appearance: A one and one-half story cross-gabled house with bracketed detail at the eaves. Distinctive corner porch with three segmental arched openings. One-over-one light sash; projecting bay windows at front and rear. Vinyl siding and shutters added.

Double corner lot with open front and side yards. Mature sycamore, blue spruce, and arbor vitae (arranged) around yard. Original two-track drive off Franklin leads to garage well set back along alley. Garage has narrow-gauge lapped and shingle siding, with multi-paned sash and wing addition. Rose bush hedge and gardens at rear. (Source: as adapted from the 2003 Historic Property Inventory Form, State of Washington Department of Archaeology and Historic Preservation)

Historic Photos (2003):

Front of residence (2003)



Idaho Side (2003)



Review History: On June 5, 2019 a Certificate of Appropriateness (HP-19-04) was issued by the Historic Preservation Board for exterior work to the house to remove the vinyl siding and restore the original wood cladding.

On February 12, 2020, an agreement between the property owners and City of Wenatchee (HP-19-09) was recorded for Historic Preservation Special Valuation for the completion of the restoration work authorized by the above referenced Certificate of Appropriateness.

After Restoration Photos (2020)

Front (2020)



Idaho Side (2020)



III. NOTICE AND PUBLIC COMMENT

The Notice of Application and Public Hearing before the Wenatchee Historic Preservation Board on September 19, 2023 was posted on the subject property and a revised notice of public hearing mailed to surrounding property owners on September 28, 2023 and was published in the newspaper on October 21, 2023 in accordance with the requirements of Title 13, Wenatchee City Code (WCC).

An email was provided on September 26, 2023 from Emma Honeycutt, Transportation Planning and Development Engineering Manager, stating that the planter strip requested to be removed does not represent a safety issue for pedestrians or vehicles. The email also states that if the planter strip is properly maintained, that it improves safety for pedestrians. Development standards for new developments and subdivisions within the City of Wenatchee are required to provide 5-foot planter strips on roads classified as Collectors and Local Access streets. Idaho Street is a Local Access street.

An email was provided on October 8, 2023 from Mark Kacmarcik, a resident of the Grandview Historic District stating that he is not in favor of the proposed modification to eliminate the planter strip.

Comments received have been attached to the staff report as Attachment B.

IV. APPLICABLE POLICIES AND ANALYSIS

Wenatchee City Code (WCC) Section 10.40.060, Grandview historic district (GHD), implements special design and review standards that protect and promote the historic character of the Grandview Historic District designated to the City of Wenatchee Register of Historic Places pursuant to WCC Chapter 2.36. Code sections referenced below are available for review on the [City of Wenatchee's website](#).

WCC Section 10.40.060(2), The listed “Standards” found in the preservation handbook are required to be followed on portions of properties visible from the street to preserve the historic character of the district as a whole. For this purpose, alleys are not considered public streets. Visible from a public street shall be determined by whether the work is visible from any location while standing on the public sidewalk in front of the subject property and standing on the sidewalk in front of adjacent properties. “Options and Guidance” provisions included in the handbook are not required provisions. They provide additional information for meeting the intent of each section, and provide alternative options to meet the intent that may require historic preservation board approval and/or staff review.

Staff Analysis: The work identified in the application is visible from Idaho Street. An analysis of compliance with the Grandview Historic District Preservation Handbook standards and general options and guidance is provided below.

WCC Sections 10.40.060(5), Actions Subject to Historic Preservation Board Approval. The following actions shall be subject to the review of the historic preservation board in accordance with WCC 2.36.170 for compliance with applicable provisions of the Grandview Historic District Preservation Handbook. Pursuant to WCC Section 13.07.030, where the application is subject to different types of review procedures (i.e. administrative and Historic Preservation Board), the application shall be subject to the highest level of review procedure. All decisions of the historic preservation board are subject to appeal in accordance with Chapter 13.11 WCC, Appeals.

WCC Section 10.40.060(5)

- (i) Permanent removal of planter strips and/or street trees without replacement, unless determined by the city engineer that removal addresses a safety problem.

Staff Analysis: The application identifies work that includes removal of the planter strip without replacement. The City’s Engineering Division has determined that the removal

does not address a safety problem (Attachment B). This action is subject to board review and a review and hearing has been scheduled for November 1, 2023. All decisions of the historic preservation board are subject to appeal in accordance with WCC Chapter 13.11, Appeals.

WCC 13.09.050 Type III quasi-judicial review of applications.

(1) Type III quasi-judicial review shall be used when the development or use proposed under the application requires a public hearing before a hearing body which will generally be the historic preservation board or the hearing examiner. This type of review includes, but is not limited to, the following:

- (g) Certificates of appropriateness or waivers.

Staff Analysis: All procedural requirements of Type III quasi-judicial reviews have been satisfied. A complete application was received on September 4, 2023. The notice of application and public hearing was distributed on September 19, 2023 and a revised notice of the public hearing on September 28, 2023. The staff report has been made available for review seven days prior to the public hearing, on October 25, 2023. The Historic Preservation Board is scheduled to hold a public hearing on November 1, 2023.

Grandview Historic District Preservation Handbook

Streets, Intent: Many of the streets in the District have unique characteristics not found in today's developments. For example, some of the streets are concrete, many are very narrow, some have mature street trees and or planter strips between the curb and sidewalk and the streets are generally connected in a grid pattern. The pattern of streets is a very significant organizing element in residential neighborhoods. Preservation of these unique features is desired and should be considered in the maintenance of streets. Whenever possible, efforts should be made to mitigate changes in appearance of streets to replicate the historic look. The underlying goal of the Grandview Historic District is to maintain the historic appearance from the street. Thus it is critical that the historic appearance of the street itself is also maintained.

Streets, Standards:

- 1) Any new street construction or reconstruction shall match existing characteristics of the street or surrounding streets in terms of width, function, and look.
- 2) Traffic calming features shall be historic in type to add to the look and feel of the neighborhood.
- 3) Any geometric reconfiguration of streets including traffic calming and street reconstruction shall obtain approval from the Historic Preservation Board.
- 4) The adjoining property owner is responsible for maintenance of street trees. Replacement of street trees with new trees consistent with the City Tree Ordinance is

permitted by receiving a right of way permit from the City Department of Public Works. Permanent removal without replacement of street trees shall require approval of the Historic Preservation Board unless the City Engineer determines that permanent removal of the tree addresses a safety problem.

- 5) The adjoining property owner is responsible for planter strips. Replacement of planter strips with grass or shrubs is permitted by receiving a right of way permit from the City Department of Public Works. Permanent removal of planter strips shall require approval of the Historic Preservation Board unless the City Engineer determines that removal addresses a safety problem.

Streets, Options and Guidance:

- 1) It is recognized that streets, just like homes, require maintenance to preserve the District. Maintenance of streets may require upgrades to current safety standards. Any upgrades should be accomplished in a manner consistent with the appearance of the neighborhood.
- 2) Traffic calming devices may be used to improve the livability of a neighborhood. They should be designed to have the least amount of impact on the street pattern. Traffic calming utilizing narrow streets is encouraged and is consistent with many streets in the District. Use of landscaping in conjunction with traffic calming devices is also encouraged.
- 3) Street trees are an important characteristic of the majority of streets in the District. Street tree maintenance is the responsibility of the adjoining property owners in the residential areas of town. It is recognized that street trees need replacing over time. Replacement trees should be located in the same location; however, they may be moved to accommodate safety, driveways, and to improve the overall look of the street.
- 4) Some of the planter strips and street trees have been removed in the past. Restoration of planter strips and street trees is encouraged to help improve the overall look of the neighborhood.

Staff Analysis of the Handbook Street Standards, Options, and Guidance: The introduction to the Handbook emphasizes the importance of preserving the character-defining features of properties and structures, as visible from the street. These features include the street itself, as well as the adjacent planter strips and sidewalk. The pattern of these street features makes a significant contribution to the historic look of the Grandview neighborhood.

The inventory form for 154 S. Franklin Avenue notes the lot is a unique double corner lot that was one of the earlier homes in the neighborhood. The property, house, and garage

are part of the original development of the lot. The subject property includes the original two-track drive off Franklin Avenue that leads back to the garage.

The Handbook does not provide any standards or guidance to support the removal of planter strips, “unless the City Engineer determines that removal addresses a safety problem.” In this case, the Engineering Division has documented that there is no evidence of a safety problem that is addressed by removal of the planter strip adjacent to 154 S. Franklin Avenue.

Staff has determined that the removal of the planter strip and replacement with concrete is not supported by the Handbook. Further, there is no precedent of the Board approving the removal of any other planter strip in the Grandview District. The Handbook acknowledges that other planter strips have been removed in the past, and recommends that they are restored.

Policies - Wenatchee Urban Area Comprehensive Plan

CULTURAL AND HISTORIC RESOURCES ELEMENT

HISTORIC PRESERVATION - Preserve, maintain and honor the city’s significant historic resources.

Policy 2: Protect and enhance the aesthetic and economic vitality of historic buildings, structures, sites, districts and objects through the development and implementation of appropriate design guidelines.

Policy 7: Promote historic preservation to provide for the identification, evaluation, and protection of historic resources within the City of Wenatchee and preserve and rehabilitate eligible historic properties within the City for future generations.

HOUSING ELEMENT, MAINTENANCE & PRESERVATION – Preserve and enhance the value and character of neighborhoods by improving and extending the life of the existing housing inventory. Give special priority to the maintenance of historic properties and the retention of existing affordable housing stock.

Policy 1: Preserve and protect older neighborhoods that demonstrate continuing residential viability.

Policy 2: Encourage private reinvestment in homes and neighborhoods by providing information, technical assistance, and referrals to appropriate agencies and organizations.

Staff Analysis: The proposed application is inconsistent with the relevant elements of the Comprehensive Plan and the work identified in the application is in conflict with the standards, options, and guidance provided in the Grandview Historic District Preservation Handbook.

V. RECOMMENDATION

Draft Motion: I move to recommend denial of HP-23-06, a Certificate of Appropriateness for 154 S. Franklin Avenue based upon the findings of fact, conclusions of law, and conditions contained within the October 25, 2023 staff report.

Suggested Findings of Fact:

1. The subject property is located at 154 S. Franklin Avenue, Wenatchee; and identified by Assessor's Parcel No.: 22-20-10-586-570.
2. The applicant/owner is Cromwell and Geraldine Warner.
3. The subject property is zoned within the Residential Moderate (RM) zoning district and Grandview Historic District (GHD) overlay.
4. The subject property is listed as a contributing, historic structure in the Grandview Historic District.
5. A complete application was submitted in accordance with Wenatchee City Code on September 4, 2023.
6. The application and supporting materials do identify the work to be accomplished and request a Certificate of Appropriateness.
7. The owner requests approval of removal of the planter strip and replacement of the planting area with poured concrete.
8. An email was provided on September 26, 2023 from Emma Honeycutt, Transportation Planning and Development Engineering Manager, stating that the planter strip requested to be removed does not represent a safety issue for pedestrians or vehicles.
9. An email was provided on October 8, 2023 from Mark Kacmarcik, a resident of the Grandview Historic District stating that he is not in favor of the proposed modification to eliminate the planter strip.
10. Other development requirements of the Wenatchee City Code are not waived by the issuance of a Certificate of Appropriateness.
11. Wenatchee Historic Preservation Board is empowered by Wenatchee City Code (WCC), Title 2 and Title 10 with the ability to hear and make decisions on matters relating to Historic Preservation within the City of Wenatchee, which includes but is not limited to issuing Certificates of Appropriateness for properties within the Grandview Historic District.
12. On November 1, 2023, the Wenatchee Historic Preservation Board held a duly advertised public hearing on a request for a Certificate of Appropriateness.
13. The work was completed without the issuance of a Certificate of Appropriateness by the Historic Preservation Board, per WCC 2.36.140, Effects of listing on the register.

14. The work is not consistent with the Grandview Historic District Preservation Handbook because the removal of the planter strips adversely impacts the historic character of the property as visible from the street. The Handbook does not provide any standards or guidance to support the removal of planter strips, “unless the City Engineer determines that removal addresses a safety problem.” In this case, the Engineering Division has documented that there is no evidence of a safety problem that is addressed by removal of the planter strip adjacent to 154 S. Franklin Street located on Idaho Street.
15. The Historic Preservation Goal of the Cultural and Historic Resources Element of the City of Wenatchee Urban Area Comprehensive Plan states: “Preserve, maintain and honor the city’s significant historic resources.” The application is not consistent with the Wenatchee Urban Area Comprehensive Plan because the proposal or diminishes the historic qualities of the property and the street. The work identified in the application is in conflict with the standards, options, and guidance provided in the Grandview Historic District Preservation Handbook.
16. Any Conclusion of Law that is more correctly a Finding of Fact is hereby incorporated as such by this reference.

Suggested Conclusions of Law:

1. The Historic Preservation Board has been granted authority to render this Decision.
2. The proposal adversely alters the historic stylistic and architectural features of the subject property.
3. The application is not consistent with Wenatchee Historic Preservation Board Rules and Procedures Criteria for Design Review and the Secretary of Interior’s Standards for Rehabilitation. The application is not consistent with the goals and policies of the Wenatchee Urban Area Comprehensive Plan.
4. Any Finding of Fact that is more correctly a Conclusion of Law is hereby incorporated as such by this reference.

Attachments:

- A. Application Materials
- B. Public Comment emails
- C. Inventory Form, 2003



Application for Certificate of Appropriateness or Waiver of Certificate

Please include all of the following information with your application. Insufficient application materials will result in a delay in processing your application. If you have any questions regarding application requirements or standards for properties listed on the Wenatchee Register of Historic Places or located within the Grandview Historic District, please call the Historic Preservation Office at (509) 888-3200.

Property Information Building/

Property Name (if applicable): _____

Building/Property Address: 154 S. FRANKLIN AVENUE, WENATCHEE

Property Owner's Name(s): CROMWELL AND GERALDINE WARNER

Mailing Address: 154 S. FRANKLIN AVENUE, WENATCHEE, WA 98801

Contact No.: 509-421-2659 E-mail Address: warners@nwi.net

Applicant Name (if different from owner): _____

Mailing Address: _____

Contact No.: _____ E-mail Address: _____

Type of Work for Requested Certificate of Appropriateness or Waiver (select all that apply):

- Exterior/interior repair or replace in kind
- Exterior/interior replacement
- Change of use
- New construction
- Demolition
- Relocation
- Signs/awning/lighting

Estimated cost of proposed work:

Application Requirement Checklist

- A project narrative and description to include the following:
 - List all activities you are proposing and describe how work will be completed to be consistent with the applicable standards.
 - Address how each applicable standard has been addressed through the proposed activities. If a project requires review consistent with the Secretary of the Interior Standards address each standard and state how it does or does not apply.
- Site plan and construction drawings for building additions, new buildings, or new elements to the building
- Photographs of existing conditions.
- Product information to include finishes and installation details as applicable.

I hereby certify that I am the owner of the property or that the proposed work is authorized by the owner of record and I have been authorized by the owner to make this application as his/her authorized agent.

Dependent on the work being proposed, the certificate may be approved by staff; however, some will require review and approval from the Historic Preservation Board. If the application is required to be reviewed by the board I understand that a public hearing notice will be published and sent to surrounding property owners and that the property will be posted as well. The Historic Preservation Board meets on the first Wednesday of every month at Wenatchee City Hall, located at 301 Yakima Street at 5:30 pm. Once a Certificate of Appropriateness is obtained, it may be necessary to apply for a building permit.

Signature : Swanner

9.4.23

Cromwell and Geraldine Warner
154 S Franklin Avenue
Wenatchee
WA 98801

509-421-2659

Application for Certificate of Appropriateness Parking (planting) strip on Idaho Street

We live on the corner of Franklin and Idaho Streets in the Grandview Historic District. We have parking (planter) strips on both streets.

We have lawn planted in our 116 foot-long parking strip on Franklin Street (Photo 1), which has in-ground irrigation. We plan to continue to maintain that lawn.

For about 30 years we have had shrubs in our 96-foot-long of planter strip on Idaho Street, on the south side of our house (Photo 2).

This planting strip does not have in-ground irrigation. Over the years, the shrubs became unsightly, so we recently removed them. Taking out the shrubs also improved visibility for pedestrians and vehicles at the busy intersection of Franklin and Idaho Streets, near Columbia School.

We now seek permission to remove the planter strip and replace it with concrete.

There are several benefits both to us and the community if we do this:

First, it takes a large amount of water to grow vegetation in a planter strip and this is particularly challenging without in-ground irrigation. By eliminating the planting strip we do our part in reducing water and pesticide use in our neighborhood.

Second, we can help reduce the weed pressure in the neighborhood. As volunteers with Wenatchee's puncture vine eradication program, we can attest to the fact that unirrigated and unmanaged planter strips are by far the greatest source of noxious weeds in the city and contribute greatly to their spread.

Photo 3 shows homes directly across the street from us on Franklin Avenue where the planter strips have vegetation but do not at all improve the look of the neighborhood.

Additionally, eliminating vegetation from our parking strip would be in keeping with the look of our block on Idaho Street (Photo 4). The parking strip has already been removed from Nos. 914, 922, 940, 941, 944 and 945 Idaho Street as well as at 202 S Franklin, which is directly across Idaho Street from our house.

Thank you for considering our request for approval to eliminate our planting strip.



PHOTO 1 Our 116-foot-long parking strip on Franklin Street is planted with lawn and will remain that way.



PHOTO 2: We recently removed these shrubs to improve visibility for pedestrians and traffic



PHOTO 3: Unmanaged parking (planting) are unsightly and play a big role in the spread of weeds.



PHOTO 4: The planting strip has already been removed from seven properties in our block in Idaho Street.

From: [Emma Honeycutt](#)
To: [Kirsten Larsen](#)
Cc: [Jake Lewing](#)
Subject: RE: Request for comments on HP-23-06
Date: Tuesday, September 26, 2023 5:21:05 PM
Attachments: [image001.png](#)

Hey Kirsten,

Thanks for the opportunity to review. In short, the planter strip in question does not represent a safety issue for pedestrians or vehicles, so such concerns would not trigger removal of the planter strip. Additionally, the standard for new development in the city along collectors and local access roads includes 5-foot planter strips between the curb and sidewalk. Please see more detailed comments below:

- The planter strip along Idaho Street at 154 S Franklin Ave does not pose a safety risk to pedestrians or vehicles. If properly maintained in accordance with WCC regulations regarding pedestrian and vehicle clearances with regard to landscaping and sight distance, a landscape buffer provides additional positive separation between pedestrians and motorized vehicles thus improving safety for peds.
- Development Standards for new development and subdivisions within the City of Wenatchee call for 5-foot planter strips on roads classified as Collectors and on Local Access streets.

Emma Honeycutt
Transportation Planning and Development Engineering Manager
Public Works Department



Phone: (509) 888-3667
Email: ehoneycutt@wenatcheewa.gov

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From: Kirsten Larsen <KLarsen@WenatcheeWA.Gov>
Sent: Monday, September 25, 2023 4:21 PM
To: Emma Honeycutt <EHoneycutt@WenatcheeWA.Gov>
Subject: Request for comments on HP-23-06

Hi Emma,
Please find attached an application for the Historic Preservation Board to remove a planter strip on Idaho Street with the Grandview Historic District. The handbook for the Historic District has the following standards that apply to streets. Can you provide comments for the boards consideration on this application? Please let me know if you need any additional information.

Thank you,
Kirsten

Streets Intent: Many of the streets in the District have unique characteristics not found in today's developments. For example, some of the streets are concrete, many are very narrow, some have mature street trees and or planter strips between the curb and sidewalk and the streets are generally connected in a grid pattern. The pattern of streets is a very significant organizing element in residential neighborhoods. Preservation of these unique features is desired and should be considered in the maintenance of streets. Whenever possible, efforts should be made to mitigate changes in appearance of streets to replicate the historic look. The underlying goal of the Grandview Historic District is to maintain the historic appearance from the street. Thus it is critical that the historic appearance of the street itself is also maintained.

Standards: 1) Any new street construction or reconstruction shall match existing characteristics of the street or surrounding streets in terms of width, function, and look. 2) Traffic calming features shall be historic in type to add to the look and feel of the neighborhood. 3) Any geometric reconfiguration of streets including traffic calming and street reconstruction shall obtain approval from the Historic Preservation Board. 4) The adjoining property owner is responsible for maintenance of street trees. Replacement of street trees with new trees consistent with the City Tree Ordinance is permitted by receiving a right of way permit from the City Department of Public Works. Permanent removal without replacement of street trees shall require approval of the Historic Preservation Board unless the City Engineer determines that permanent removal of the tree addresses a safety problem. 5) The adjoining property owner is responsible for planter strips. Replacement of planter strips with grass or shrubs is permitted by receiving a right of way permit from the City Department of Public Works. Permanent removal of planter strips shall require approval of the Historic Preservation Board unless the City Engineer determines that removal addresses a safety problem.

Options and Guidance: 1) It is recognized that streets, just like homes, require maintenance to preserve the District. Maintenance of streets may require upgrades to current safety standards. Any upgrades should be accomplished in a manner consistent with the appearance of the neighborhood. 2) Traffic calming devices may be used to improve the livability of a neighborhood. They should be designed to have the least amount of impact on the street pattern. Traffic calming utilizing narrow streets is encouraged and is consistent with many streets in the District. Use of landscaping in conjunction with traffic calming devices is also encouraged. 3) Street trees are an important characteristic of the majority of streets in the District. Street tree maintenance is the responsibility of the adjoining property owners in the residential areas of town. It is recognized that street trees need replacing over time. Replacement trees should be located in the same location; however, they may be moved to accommodate safety, driveways, and to improve the overall look of the street. 4) Some of the planter strips and street trees have been removed in the past. Restoration of planter strips and street trees is encouraged to help improve the overall look of the neighborhood.

Kirsten Larsen, AICP
Senior Planner

Community Development Department
301 Yakima Street, Suite 100, P.O. Box 519
Wenatchee, WA 98807-0519

Phone: (509) 888-3249
www.wenatcheewa.gov

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From: [Mark Kacmarcik](#)
To: [Kirsten Larsen](#)
Subject: HP-23-06: 154 S Franklin Planter Strip
Date: Sunday, October 8, 2023 10:42:59 AM

CAUTION: This email originated from outside of the City of Wenatchee. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Kirsten:

I am writing to provide comment on HP-23-06. The applicant proposes to fill the planter strip at on Idaho Street with concrete. I am not in favor of this modification and suggest this proposed action be denied.

In my opinion, adding additional concrete hardscape does not benefit the community nor the look of the street.

Alternatively, i would propose that the applicant consider adding irrigation to the idaho side (similar to the franklin side) and also adding street trees. At least one street tree previously existed on the Franklin side and was recently removed. Adding trees would enhance the property and the neighborhood as a whole, and restore the wonderful tree-lined look of the neighborhood.

It is unfortunate that others have replaced the planter strips with concrete. I would suggest that other future planter strip removals be denied also.

respectfully submitted,

Mark Kacmarcik
140 S. Emerson

LOCATION SECTIONField Site No.: OAHP No.: Date First Recorded: 4/9/2003Historic Name: Albert and Alice Sylvester HouseCommon Name: Property Address: 154 S Franklin Ave, Wenatchee, WA 98801Comments:

County Township/Range/EW Section 1/4 Sec 1/4 1/4 Sec Quadrangle
 Chelan T20R22E 10 WENATCHEE

UTM Reference
 UTM Zone: 10 Spatial Type: Point Acquisition Code: Unknown
 Sequence: 1 Easting: 702061 Northing:
 Sequence: 2 Easting: Northing: 5255169

Tax No./Parcel No.:
222010586570

Plat/Block/Lot:
Grandview to Wenatchee, Plat 695, Block 66, Lot 23

Supplemental Map(s):

Acreeage
.28

IDENTIFICATION SECTIONField Recorder: Flo LentzDate Recorded: 4/9/2003

Owner's Name: Owner Address: City/State/Zip:
Cromwell and Geraldine 154 S. Franklin Wenatchee, WA 98801
Warner

Classification: Building Resource Status Comments
Within a District? Yes Survey/Inventory

Contributing? YesNational Register Nomination: Local District: National Register District/Thematic Nomination Name: **DESCRIPTION SECTION**Historic Use: Domestic - Single Family HouseCurrent Use: Domestic - Single Family HousePlan: Rectangle No. of Stories: 1.5Structural System: Balloon Frame/ Platform FrameChanges to plan: Intact Changes to interior: UnknownChanges to original cladding: Extensive Changes to other: Changes to windows: Intact Other (specify):

Style
Arts & Crafts - Craftsman

Form
Single Family - Cross Gable



View of front

taken 3/27/2003

Photography Neg. No (Roll No./Frame No.): Comments:

Cladding Veneer - Vinyl Siding	Foundation Stone	Roof Material Asphalt / Composition - Shingle	Roof Type Gable - Cross Gable
------------------------------------------	----------------------------	---------------------------------------------------------	-----------------------------------------

NARRATIVE SECTION

Date Of Construction: ca. 1915

Architect: _____ Engineer: _____ Builder: _____

Property appears to meet criteria for the National Register of Historic Places: No

Property is located in a potential historic district (National and/or local): Yes - Local

Study Unit Other

Statement of Significance

The house at 154 S. Franklin stands on Block 66 of the Grand View Addition to Wenatchee, platted in 1903. Development on the block took shape largely in the 1920s. Infill came later in the 1940s and '50s, particularly along Bryan Street. By 1928, lots along Franklin Avenue, and about half of lots along Idaho Street contained single-family homes with detached garages.

Although the exact date of construction is not know, this particular parcel was developed by 1921. That year the house first shows up on Sanborn insurance maps, together with a garage at the rear of the house along the alley. *(1st Supt. of Wen. Nat'l Forest (named all the lakes))*

R.L. Polk city directories for 1929-30 list Albert H. and Alice P. Sylvester as the owner-occupants at this address. Albert at the time was supervisor at the U.S. Department of Agriculture. Margaret H. Sylvester, presumably their daughter, is listed along with her parents as living at the house in 1940. Margaret was a beauty operator at the Mecca Barbers and Beauty Parlor.

This property is significant as one of the earlier homes in the neighborhood. Except for siding changes, it is a relatively unaltered example of the Craftsman style, with a very unusual corner porch and entry feature.

Description of Physical Appearance

A one and one-half story cross-gabled house with bracketed detail at the eaves. Distinctive corner porch with three segmental arched openings. One-over-one light sash; projecting bay windows at front and rear. Vinyl siding and shutters added.

Double corner lot with open front and side yards. Mature sycamore, blue spruce, and arbor vitae ranged around yard. Original two-track drive off Franklin leads to garage well set back along alley. Garage has narrow-gauge lapped and shingle siding, with multi-paned sash and wing addition. Rose bush hedge and gardens at rear.

Major Bibliographic References

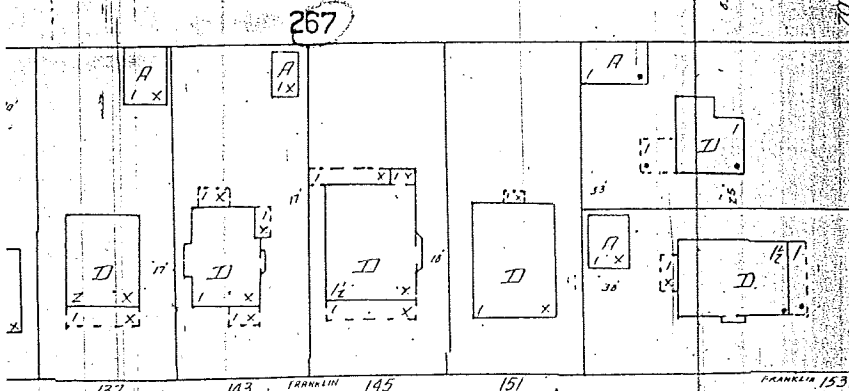
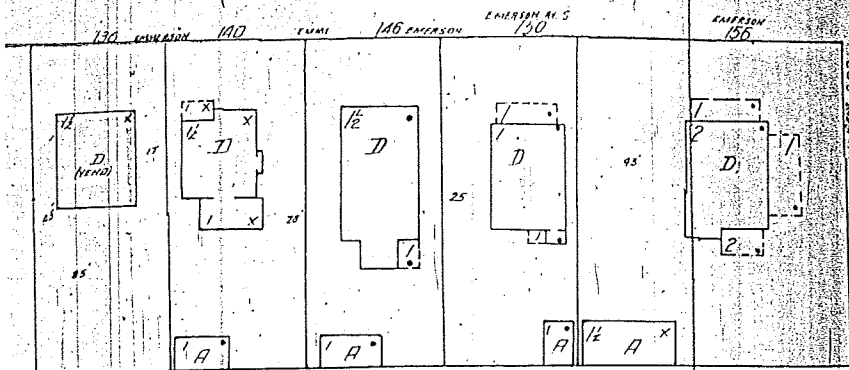
CHELAN COUNTY ASSESSOR'S OWNERSHIP RECORDS. WENATCHEE VALLEY MUSEUM & CULTURAL CENTER ARCHIVES. SANBORN CO. FIRE INSURANCE MAPS (1905, 1909, 1921, 1928, 1949). R.D. POLK CHELAN COUNTY AND WENATCHEE CITY DIRECTORIES (1907, 1909-10, 1910-11, 1914-15, 1927-28, 1929-30, 1940).

1949

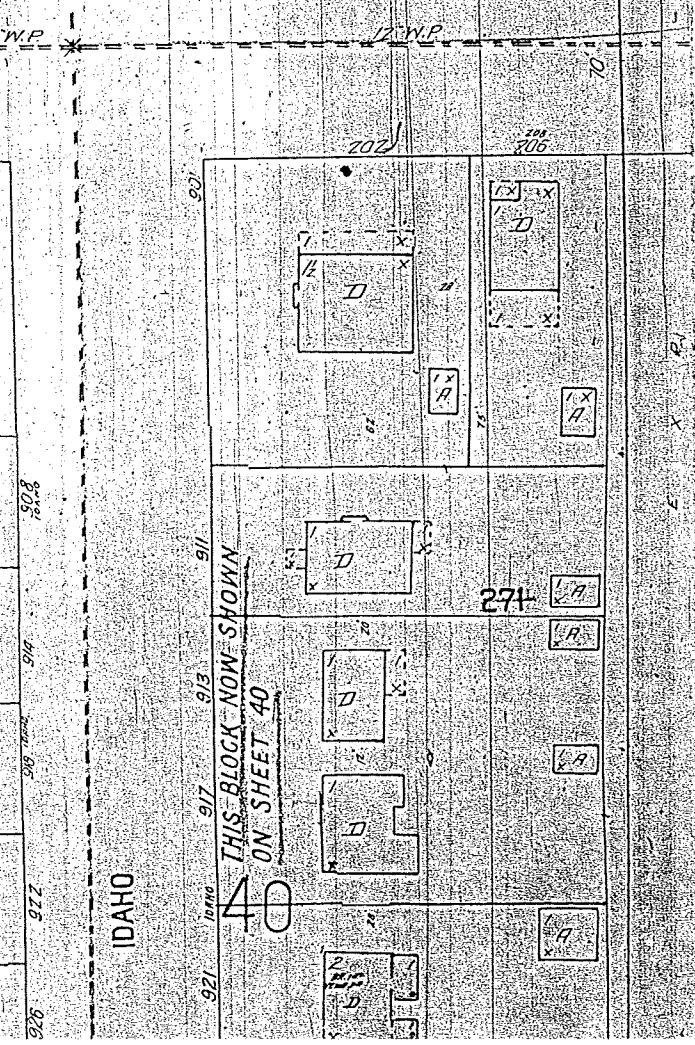
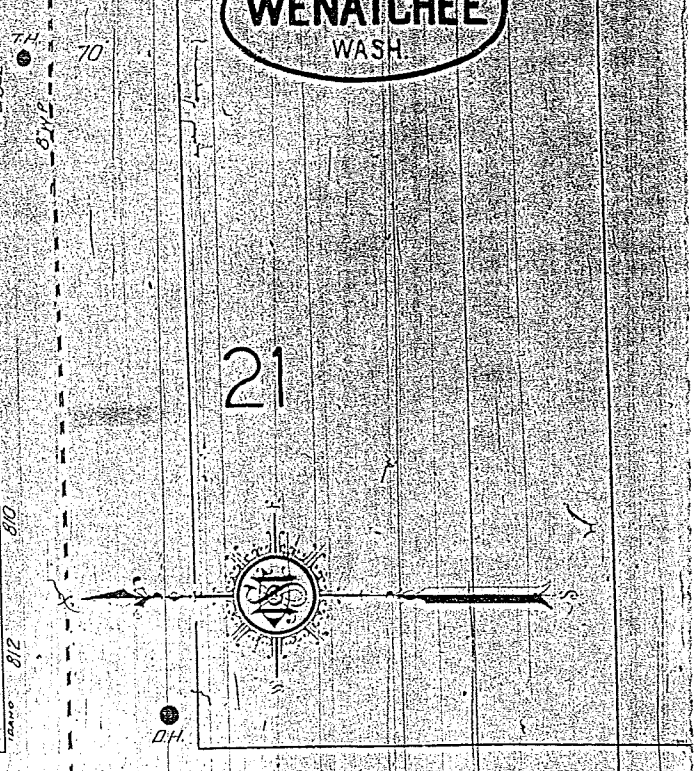
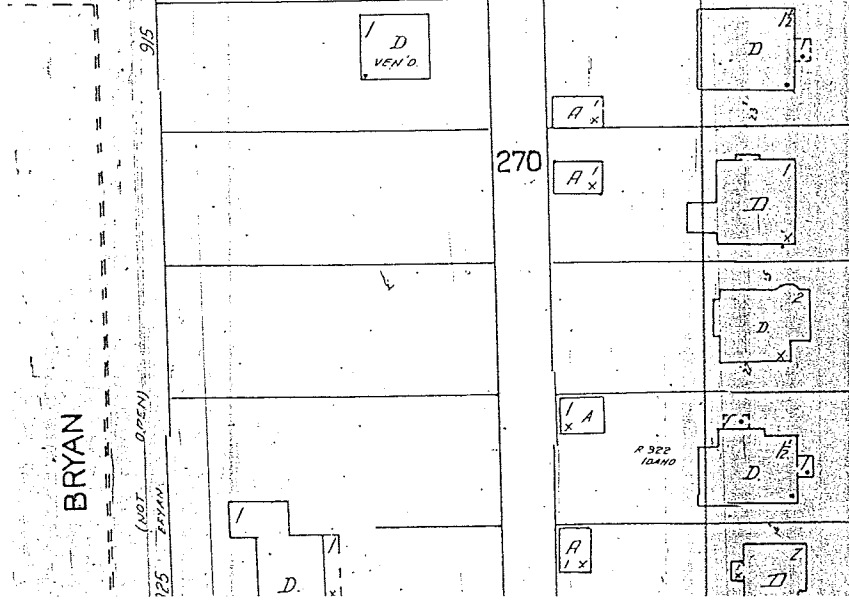
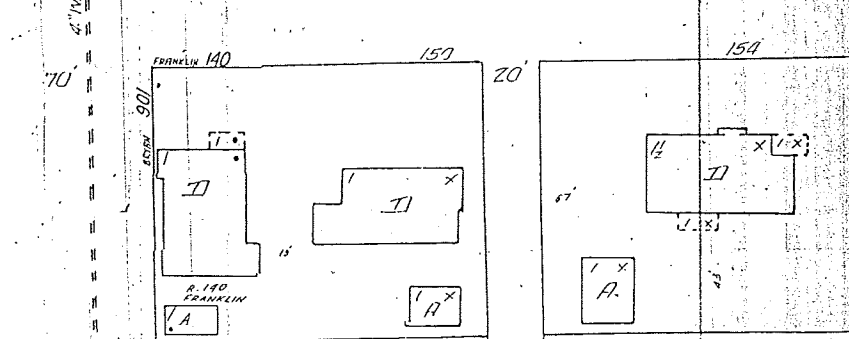
21 Emerson
AV. S.

22

MARCH 1928
WENATCHEE
WASH.



Franklin
AV. S.



THIS BLOCK NOW SHOWN
ON SHEET 40

BRYAN

IDAHO

40

STAFF REPORT
HP-23-07, 145 S. DELAWARE AVENUE

TO: Wenatchee Historic Preservation Board
FROM: City of Wenatchee Community Development Staff
RE: Certificate of Appropriateness for Chase Park, 145 S. Delaware Avenue
DATE: October 25, 2023

I. SUMMARY OF REQUEST

Description of Request: This is an application for a Certificate of Appropriateness submitted by the City of Wenatchee, Department of Parks and Recreation for minor modifications to Chase Park. The work includes the undergrounding of the electrical lines that serve the park light fixtures and irrigation clock. The existing wood light pole and industrial light fixture will be removed and replaced with heritage themed light poles and fixtures. The light poles will be a shorter height, at a pedestrian scale. The lighting distribution through the park will be improved for visitor safety. A vandal resistant electrical cabinet would be installed to replace the electrical boxes on the existing light pole. The proposed project is anticipated to be brought forward for budget considerations in 2025. Application materials are included as Attachment A.

II. GENERAL INFORMATION

Applicant / Owner: City of Wenatchee
301 Yakima Street
Wenatchee, WA 98801

Department Review: City of Wenatchee Community Development Staff

Location and/or legal description: The subject property is located at 145 S. Delaware Avenue, Wenatchee; and identified by Assessor's Parcel No.: 22-20-10-586-047. The legal description for the property is Grandview to Wenatchee, Block 62 Lot 11-15, 0.52 acres.

Zoning District: Residential Moderate (RM) and Grandview Historic District (GHD)

Comprehensive Plan Designation: RM and GHD

Application Date: The application was submitted on October 2, 2023 and determined complete on October 6, 2023.

History: Chase Park occupies the far southwest portion of Block 62 of the Grand View Addition to Wenatchee, platted in 1903. Block 62 was still largely vacant, with only seven houses in place as late as 1921. At that time, St. Anthony's Hospital and Convent had not yet been erected at the northeast end of the block. On the Sanborn map of 1921, a roughly triangular open space at the far southwest end of the block is shown as a public park. On 1929 and 1949 maps, it is labeled as a city park, and has a slightly different configuration at its upper end.

The City of Wenatchee acquired the 0.52-acre parcel in 1909, shortly after the Grand View Addition was platted. Mabel and Marvin Chase, who lived on an orchard tract across Delaware Avenue from the park, are said to have donated the land. Their house, barn, and orchard appear in a photograph in the Elliot Collection. The index description gives the location as the northeast corner of S. Delaware and Idaho.

Chase Park is significant as a planned green space near the heart of the city, dedicated at an early date to public use. With its mature maple trees and unfenced grassy lawn, it contributes to the early 20th century residential character and scale of the neighborhood. (Source: as adapted from the 2003 Historic Property Inventory Form, State of Washington Department of Archaeology and Historic Preservation)

Physical Appearance: A grassy, triangular shaped park formed by the convergence of Delaware Avenue and King Street. Open and unfenced, blending in with traditional neighborhood pattern. Landscaped with mature maples and several newer saplings recently planted. Wooden sign reading "City of Wenatchee Chase Park" stands at apex of triangle. Play equipment, including swings and a slide, are on site. (Source: as adapted from the 2003 Historic Property Inventory Form, State of Washington Department of Archaeology and Historic Preservation).

Historic Photos (2003):



III. NOTICE AND PUBLIC COMMENT

The Notice of Application and Public Hearing before the Wenatchee Historic Preservation Board on October 6, 2023 was posted on the subject property and mailed to surrounding property owners and was published in the newspaper on October 21, 2023 in accordance with the requirements of Title 13, Wenatchee City Code (WCC).

An email was received on October 8, 2023 from Mark Kacmarcik in support of the proposed improvements and suggested that street trees be incorporated in the planter strips on S. Delaware Avenue and King Street.

IV. APPLICABLE POLICIES AND ANALYSIS

Wenatchee City Code (WCC) Section 10.40.060, Grandview historic district (GHD), implements special design and review standards that protect and promote the historic character of the Grandview Historic District designated to the City of Wenatchee Register of Historic Places pursuant to WCC Chapter 2.36. Code sections referenced below are available for review on the [City of Wenatchee's website](#).

WCC Section 10.40.060(2), The listed “Standards” found in the preservation handbook are required to be followed on portions of properties visible from the street to preserve the historic character of the district as a whole. For this purpose, alleys are not considered public streets. Visible from a public street shall be determined by whether the work is visible from any location while standing on the public sidewalk in front of the subject property and standing on the sidewalk in front of adjacent properties. “Options and Guidance” provisions included in the handbook are not required provisions. They provide additional information for meeting the intent of each section, and provide alternative options to meet the intent that may require historic preservation board approval and/or staff review.

Staff Analysis: The work identified in the application is visible from S. Delaware Avenue and King Street. An analysis of compliance with the Grandview Historic District Preservation Handbook standards and general options and guidance is provided below.

WCC Sections 10.40.060(5), Actions Subject to Historic Preservation Board Approval. The following actions shall be subject to the review of the historic preservation board in accordance with WCC 2.36.170 for compliance with applicable provisions of the Grandview Historic District Preservation Handbook. Pursuant to WCC Section 13.07.030, where the application is subject to different types of review procedures (i.e. administrative and Historic Preservation Board), the application shall be subject to the highest level of review procedure. All decisions of the historic preservation board are subject to appeal in accordance with Chapter 13.11 WCC, Appeals.

WCC Section 10.40.060(5)

(f) Utility appurtenance changes by utility purveyors that significantly alter the look of the district, as determined by staff.

Staff Analysis: The application identifies work that includes the removal of the above ground electrical lines that serve the existing park light fixture and irrigation clock, to place those lines underground. The existing light pole will be removed and replaced with five light fixtures distributed through the park and a new electrical cabinet to serve the park. The change in the style and number of lighting fixtures alters the look of Chase Park, which is a significant feature of the district.

WCC 13.09.050 Type III quasi-judicial review of applications.

(1) Type III quasi-judicial review shall be used when the development or use proposed under the application requires a public hearing before a hearing body which will generally

be the historic preservation board or the hearing examiner. This type of review includes, but is not limited to, the following:

- (g) Certificates of appropriateness or waivers.

Staff Analysis: All procedural requirements of Type III quasi-judicial reviews have been satisfied. A complete application was received on October 2, 2023. The notice of application and public hearing was distributed on October 6, 2023. The staff report has been made available for review seven days prior to the public hearing, on October 25, 2023. The Historic Preservation Board is scheduled to hold a public hearing on November 1, 2023.

Grandview Historic District Preservation Handbook

Public Utilities and Street Appurtenances, Intent: Public utility facilities such as water meter covers, manhole covers, hydrants, street lights, and signs are unique features of the District and should be preserved unless replacement is necessary for public health and safety reasons. These elements have historic significance to the development of the District as they are often stamped with dates and have unique designs that add to the character of the District. Many historic public utility features do not meet current standards for public safety and thus must be upgraded. Whenever possible, efforts should be made to mitigate the changes in appearance of these features by either replicating the historic look of these features or at least minimizing the visibility from the street.

Public Utilities and Street Appurtenances, Standards:

- 1) Street light fixtures shall be historic in nature and meet standards approved by the Historic Preservation Board, if any exist.
- 2) Street lights shall be installed in accordance with the City Lighting Policy which states that lights should be installed at intersections of Collector Streets and in locations where accident history demonstrates a need.
- 3) Street name signs shall be installed consistent with standards approved by the Historic Preservation Board, if any exist.
- 4) Utility appurtenances shall be replaced only when necessary for public safety and public health purposes. When utility appurtenances are replaced, they shall meet current standards for public safety and health. Whenever reasonably possible, appurtenances should be replaced in a manner to minimize their visual impact. Utility purveyors shall obtain historic preservation staff review prior to work within the District. If utility changes significantly alter the look of the District, staff may require board review and approval.
- 5) Overhead utilities shall utilize alleys to the greatest extent possible. Approval by the Historic Preservation Board is required if utilities are to be relocated or added to a fronting street rather than in an alley.

Public Utilities and Street Appurtenances, Options and Guidance:

- 1) Improving lighting within the District is encouraged and standards for fixture types should be developed through cooperation of the neighborhood, Historic Preservation Board, and the City.
- 2) Street lighting improvements at intersections is encouraged through the use of Local Improvement Districts.
- 3) Developing historic district awareness through street name signs is encouraged. Standards for street name signing should be developed through cooperation of the neighborhood, Historic Preservation Board, and the City.
- 4) Utility appurtenance standards may be developed by staff for the District, but should consider the cost of maintenance and ongoing operation of the utility.
- 5) Existing overhead utilities located in the fronting street may be maintained and expanded upon if utilizing the same pole lines or if there is no alley or utility easement located to the rear of the properties.
- 6) Where it is not reasonably feasible for utilities to locate in the alley due to conflicts, utilities may locate within the street in a location such that the character of the street is not compromised.

Staff Analysis of the Handbook Public Utilities and Street Appurtenances Standards, Options, and Guidance: The proposed work includes the removal of the park light fixture and irrigation clock, and undergrounding of the associated electrical lines. In addition, five new light poles will be added to the park. The light poles have a heritage style fixture featuring a tapered six-sided cage and roof with a decorative finial on top. The light poles will be shorter to provide lighting at a pedestrian scale, and spaced around the park to disperse the lighting within the park boundaries. The Historic Preservation Board has not established light standards so the proposed lighting is being brought to the board for review and approval. The electrical component box has a utilitarian appearance consistent with its function and would not have a negative impact on the character of the park.

Parks, Intent:

Parks are important public spaces in a neighborhood. Chase Park is currently the only park located within the District. Park features that are historic in nature should be maintained when feasible and proposed improvements should be developed in a fashion to compliment the historic appearance of the District.

Standards:

- 1) If tree removal in Chase Park is required, trees shall be replaced consistent with the Community Forestry Plan, City Tree Ordinance and master plan for Chase Park contained in the Parks and Recreation Capital Improvement Plan.
- 2) Improvements to Chase Park or the development of new park areas must adhere to the criteria found in the Park Design Standards and Development Policies.
- 3) Modifications to the master plan for Chase Park including reconstruction or the addition of new amenities shall obtain approval from the Parks and Recreation and Historic Preservation Boards.

Options and Guidance:

- 1) Maintenance of park amenities including trees to comply with safety requirements is encouraged and does not require Historic Preservation Board or Parks and Recreation Advisory Board approval.
- 2) A collaborative process involving the Historic Preservation Board, Parks and Recreation Advisory Board and the neighborhood for developing plans for new parks in the District is encouraged. The level of design review should be balanced between City staff, the neighborhood, the Parks and Recreation Advisory Board, and the Historic Preservation Board.

Staff Analysis of the Handbook Parks Standards, Options, and Guidance: The light fixtures would be a new amenity to the park and are therefore being reviewed by the board.

Policies - Wenatchee Urban Area Comprehensive Plan

CULTURAL AND HISTORIC RESOURCES ELEMENT

HISTORIC PRESERVATION - Preserve, maintain and honor the city's significant historic resources.

Policy 2: Protect and enhance the aesthetic and economic vitality of historic buildings, structures, sites, districts and objects through the development and implementation of appropriate design guidelines.

Policy 7: Promote historic preservation to provide for the identification, evaluation, and protection of historic resources within the City of Wenatchee and preserve and rehabilitate eligible historic properties within the City for future generations.

HOUSING ELEMENT, MAINTENANCE & PRESERVATION – Preserve and enhance the value and character of neighborhoods by improving and extending the life of the existing housing inventory. Give special priority to the maintenance of historic properties and the retention of existing affordable housing stock.

Policy 1: Preserve and protect older neighborhoods that demonstrate continuing residential viability.

Staff Analysis: The proposed application is consistent with the relevant elements of the Comprehensive Plan as the proposal enhances the look and safety of the park.

V. RECOMMENDATION

Draft Motion: I move to recommend denial of HP-23-07, a Certificate of Appropriateness for 145 S. Delaware Avenue, Chase Park based upon the findings of fact, conclusions of law, and conditions contained within the October 25, 2023 staff report.

Suggested Findings of Fact:

1. The subject property, Chase Park, is located at 145 S. Delaware Avenue Wenatchee, WA and is respectively identified as Assessor Parcel Number 22-20-10-586-047.
2. The applicant/owner is City of Wenatchee.
3. The subject property is zoned within the Residential Moderate (RM) zoning district and Grandview Historic District (GHD) overlay.
4. The subject property is listed as a contributing in the Grandview Historic District.
5. A complete application was submitted in accordance with Wenatchee City Code on October 2, 2023.
6. The application and supporting materials do identify the work to be accomplished and request a Certificate of Appropriateness.
7. The applicant requests approval to remove the above ground electrical lines that serve the park light fixtures and irrigation clock and place them underground. The existing wood light pole and industrial light fixture will be removed and replaced with heritage themed light poles and fixtures. The light poles will be shorter at a pedestrian scale. The lighting distribution through the park will be improved for visitor safety. A vandal resistant electrical cabinet would be installed to replace the electrical boxes on the existing light pole.
8. An email was received on October 8, 2023 from Mark Kacmarcik in support of the proposed improvements and suggested that street trees be incorporated in the planter strips on S. Delaware Avenue and King Street.
9. Other development requirements of the Wenatchee City Code are not waived by the issuance of a Certificate of Appropriateness.
10. Wenatchee Historic Preservation Board is empowered by Wenatchee City Code (WCC), Title 2 and Title 10 with the ability to hear and make decisions on matters relating to Historic Preservation within the City of Wenatchee, which includes but is not limited to issuing Certificates of Appropriateness for properties within the Grandview Historic District.

11. On November 1, 2023, the Wenatchee Historic Preservation Board held a duly advertised public hearing on a request for a Certificate of Appropriateness.
12. The work was completed without the issuance of a Certificate of Appropriateness by the Historic Preservation Board, per WCC 2.36.140, Effects of listing on the register.
13. The work is consistent with the Grandview Historic District Preservation Handbook Sections for Public Utilities and Street Appurtenances, and Parks with the replacement of the light pole with new pedestrian scaled light fixtures with features that are consistent with the time period of the district and putting the electrical lines underground to serve the new lighting and electrical cabinet.
14. The Historic Preservation Goal of the Cultural and Historic Resources Element of the City of Wenatchee Urban Area Comprehensive Plan states: "Preserve, maintain and honor the city's significant historic resources." The application is consistent with the Wenatchee Urban Area Comprehensive Plan because the proposal enhances the look and safety of the park.
15. Any Conclusion of Law that is more correctly a Finding of Fact is hereby incorporated as such by this reference.

Suggested Conclusions of Law:

1. The Historic Preservation Board has been granted authority to render this Decision.
2. The proposal does not adversely alter the historic stylistic and architectural features of the subject property.
3. The application is consistent with Wenatchee Historic Preservation Board Rules and Procedures Criteria for Design Review and the Secretary of Interior's Standards for Rehabilitation. The application is consistent with the goals and policies of the Wenatchee Urban Area Comprehensive Plan.
4. Any Finding of Fact that is more correctly a Conclusion of Law is hereby incorporated as such by this reference.

Recommended Conditions of Approval:

1. The project application shall proceed consistent with this staff report and the plans submitted on October 2, 2023, as attached to the staff report dated October 25, 2023. The removal or alteration of any other historic material or distinctive features must be avoided.
2. Any work beyond the scope of this Certificate of Appropriateness shall be reviewed by staff to determine its effect on the historic features of the structure. If staff determines that the new work affects historic features in a manner not approved (such as replacement of features not currently proposed), then an amendment to this certificate shall be obtained prior to resuming work.
3. Within 30 days of completion of work, the applicant shall provide pictures that document the work in compliance with this approved Certificate of Appropriateness.

Attachments:

A. Application Materials

Application for Certificate of Appropriateness or Waiver of Certificate

Please include all of the following information with your application. Insufficient application materials will result in a delay in processing your application. If you have any questions regarding application requirements or standards for properties listed on the Wenatchee Register of Historic Places or located within the Grandview Historic District, please call the Historic Preservation Office at (509) 888-3200.

Property Information

HP-23-07

Building/Property Name (if applicable): CHASE PARK

Building/Property Address: 145 SOUTH DELAWARE

Property Owner's Name(s): CITY OF WENATCHEE

Mailing Address: PO BOX 519 WENATCHEE WA 98807

Contact No.: DAVE ERICKSON E-mail Address: DERICKSON@WENATCHEEWA.GOV

Applicant Name (if different from owner): _____

Mailing Address: _____

Contact No.: _____ E-mail Address: _____

Type of Work for Requested Certificate of Appropriateness or Waiver (select all that apply):

- | | | | | | |
|-------------------------------------|------------------------------------------------|--------------------------|-------------------------------|--------------------------|---------------|
| <input type="checkbox"/> | Exterior/interior repair or replace
in kind | <input type="checkbox"/> | Exterior/interior replacement | <input type="checkbox"/> | Change of use |
| <input type="checkbox"/> | New construction | <input type="checkbox"/> | Demolition | <input type="checkbox"/> | Relocation |
| <input checked="" type="checkbox"/> | Signs/awning/lighting | | | | |

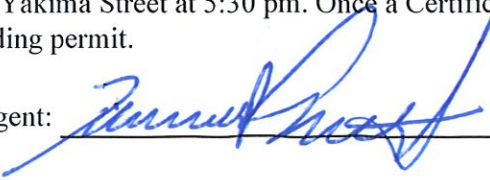
Estimated cost of proposed work: \$200,000 ESTIMATE IS BEING PREPARED

Application Requirement Checklist

- A project narrative and description to include the following:
- List all activities you are proposing and describe how work will be completed to be consistent with the applicable standards.
 - Address how each applicable standard has been addressed through the proposed activities. If a project requires review consistent with the Secretary of the Interior Standards address each standard and state how it does or does not apply.
- Site plan and construction drawings for building additions, new buildings, or new elements to the building
- Photographs of existing conditions.
- Product information to include finishes and installation details as applicable.

I hereby certify that I am the owner of the property or that the proposed work is authorized by the owner of record and I have been authorized by the owner to make this application as his/her authorized agent.

Dependent on the work being proposed, the certificate may be approved by staff; however, some will require review and approval from the Historic Preservation Board. If the application is required to be reviewed by the board I understand that a public hearing notice will be published and sent to surrounding property owners and that the property will be posted as well. The Historic Preservation Board meets on the first Wednesday of every month at Wenatchee City Hall, located at 301 Yakima Street at 5:30 pm. Once a Certificate of Appropriateness is obtained, it may be necessary to apply for a building permit.

Signature of Owner or Authorized Agent: Date: 9/27/23

Project Narrative

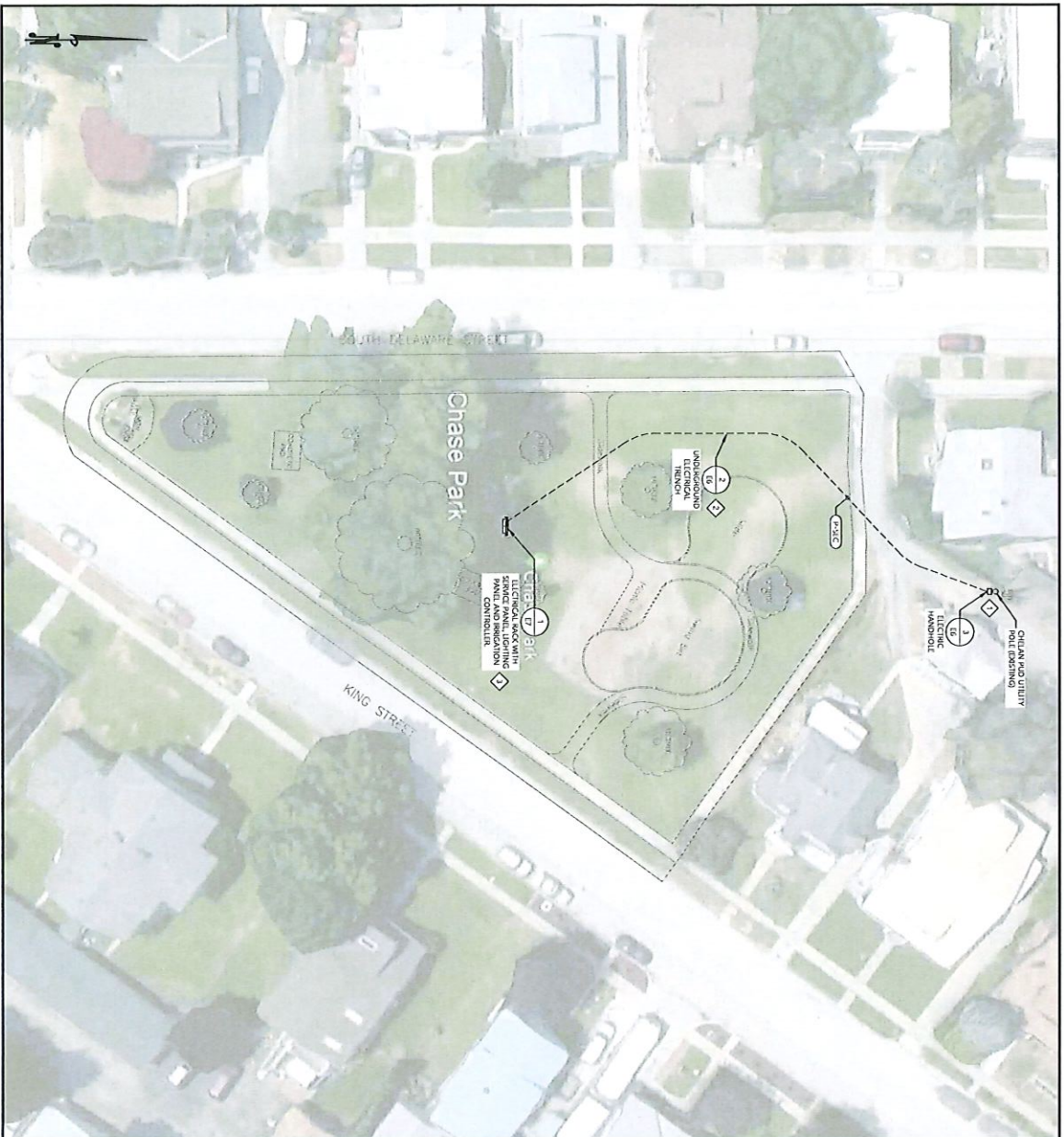
Through this project the above ground electrical lines which serve the park light fixture and irrigation clock will be removed and placed underground in an effort to improve safety to park visitors and also the overall appearance of the park. The existing wood light pole and industrial light fixture will be removed and replaced with heritage themed light poles and fixtures to better tie into the neighborhood. The fixtures would be LED to reduce energy consumption, directional and shielded. The light poles would be shorter than the existing pole and be at a pedestrian scale. Lighting distribution throughout the park would be enhanced to improve safety to park visitors and general security and to aid in the reduction in vandalism. A vandal resistant electrical cabinet would be installed to replace the electrical boxes that are affixed to the existing light pole. Plans are attached.

The project is anticipated to be brought forward for budget consideration in 2025.

Chase Park Existing Conditions



HP 23-07



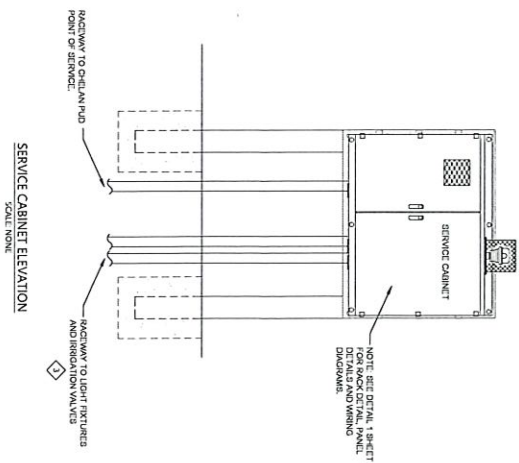
ELECTRICAL SITE PLAN
 SCALE 1" = 20' AT TOTAL SCALE
 0 10 20 40
 FEET
 SCALE: 1/8" = 1'

GENERAL NOTES:

1. ALL MATERIALS AND INSTALLATION SHALL MEET THE REQUIREMENTS OF WASHINGTON STATE DEPARTMENT OF LABOR AND INDUSTRIES, CITY OF WENATCHEE AND THE NATIONAL ELECTRICAL CODE.
2. SITE PLAN, RECEIVERS AND EQUIPMENT LOCATIONS ARE APPROXIMATE AND ARE NOT BASED ON ACTUAL SITE SURVEY CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.

KEY NOTES:

- ◇ INSTALL NEW UNDERGROUND 4" EIGHTY TON DUCT FOR NEW UNDERGROUND SERVICE PANEL, TRAYWAY FOR AND CLEAN AND UTILITY POLE (EXISTING) TO NEW SERVICE PANEL. ALL MATERIALS AND INSTALLATION SHALL CONFORM TO UNDERGROUND REQUIREMENTS.
- ◇ REMOVE NEW UNDERGROUND ELECTRICAL SERVICE RACEWAY FOR SERVICE EXTENSION. ROUTING SHOWN IS APPROXIMATE. PROVIDE LOCATE AND COORDINATE WITH CITY OF WENATCHEE AND CLEAN AND TO AVOID EXISTING UTILITIES AND THE EXISTING STRUCTURES. REMOVE EXISTING SERVICE PANEL AND RACEWAYS TO ORIGINAL CONDITION.
- ◇ REMOVE EXISTING RADIATION CONTROLLER TO NEW SERVICE CABINET. REMOVE EXISTING CONDUIT AND WIRING FROM ALL SERVICES TO RADIATION CONTROLLER. PROVIDE NEW WIRING AND RACEWAYS AS REQUIRED.



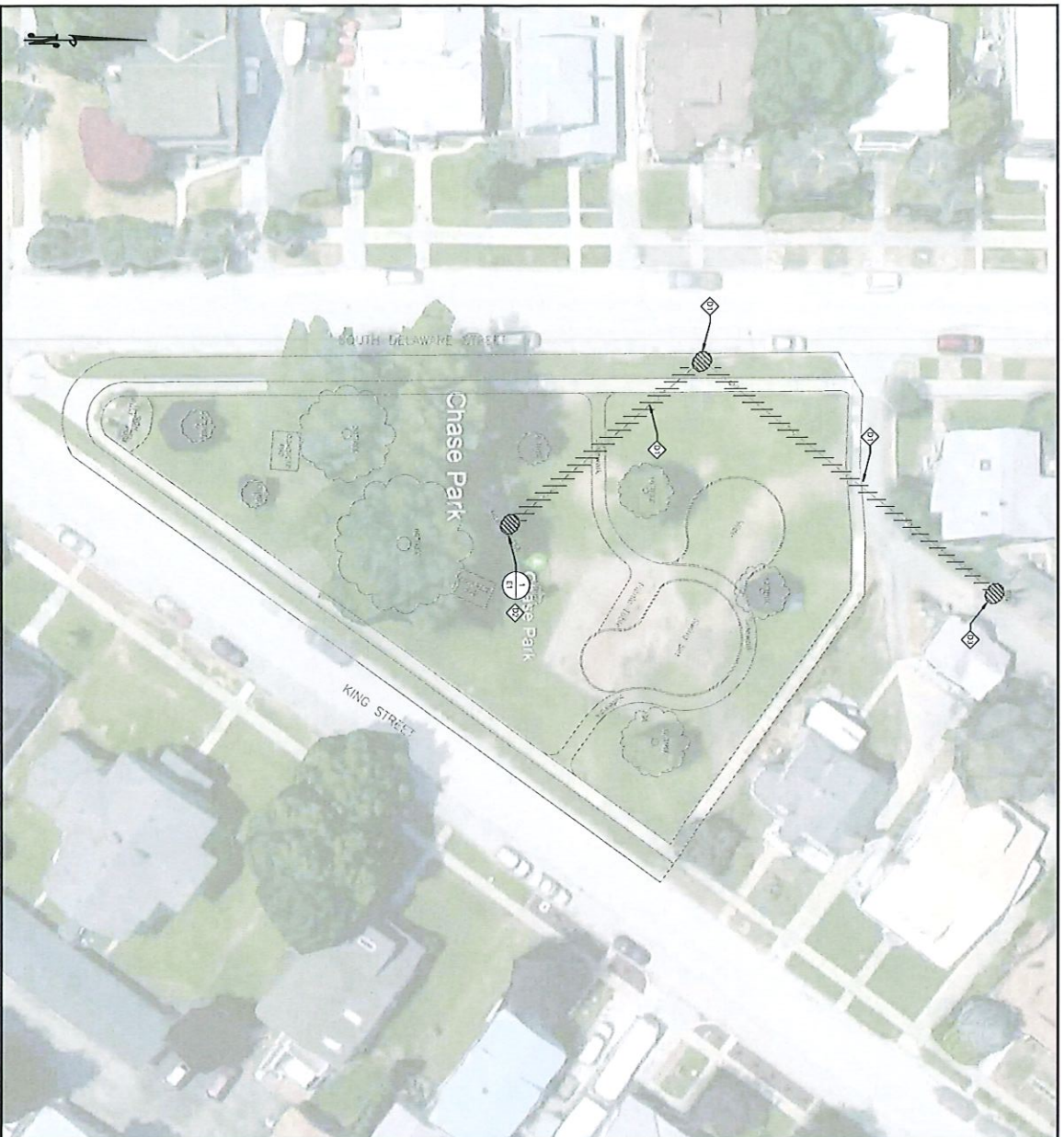
REV	DATE	DESCRIPTION	REV	DATE	DESCRIPTION
0	01/26/2023	NO REVIEW SET			



CITY OF WENATCHEE
CHASE PARK
ELECTRICAL AND LIGHTING UPGRADES
 WENATCHEE, WASHINGTON
 PROJECT NO. P23102

ELECTRICAL
SITE
PLAN

E2



ELECTRICAL DEMOLITION PLAN

SCALE 1" = 20' AT FULL SCALE
 0 10 20 40
 FEET

GENERAL NOTES:

1. ALL MATERIALS AND INSTALLATION SHALL MEET THE REQUIREMENTS OF WASHINGTON STATE DEPARTMENT OF LABOR AND INDUSTRIES CITY OF WENATCHEE AND THE NATIONAL ELECTRICAL CODE.
2. NOT FINAL LOCATIONS AND EQUIPMENT LOCATIONS ARE APPROXIMATE, AND ARE NOT BASED ON ACTUAL SITE SURVEY CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.

DEMOLITION NOTES:

1. PROVIDE SELECTIVE ELECTRICAL DEMOLITION OF EXISTING ELECTRICAL LIGHT POLES AND OTHER EQUIPMENT WHERE SHOWN.
2. ALL DEMOLITION WORK REQUIRED UNDER THIS CONTRACT IS NOT SHOWN ON THE DRAWING.
3. THE CONTRACTOR SHALL INSPECT THE EXISTING SITES AND INSTALLATIONS PRIOR TO BEGINNING AND SHALL MAKE HIS OWN JUDGMENT AS TO THE WORK REQUIRED TO PROVIDE COMPLETE DEMOLITION AS SHOWN ON WITHIN THE INTENT OF THE CONTRACT DOCUMENTS.
4. EXISTING EQUIPMENT, SYSTEMS, AND MATERIALS REMOVED DURING DEMOLITION SHALL BE MADE AVAILABLE FOR REUSE OR RECYCLING. ALL MATERIALS NOT TO BE REUSED OR RECYCLED SHALL BE DELIVERED TO A FACILITY ON THE PREMISES SELECTED BY THE OWNER.
5. ALL MATERIAL NOT SELECTED FOR RETENTION BY THE OWNER AND DEBRIS SHALL BE LEGALLY DISPOSED OF BY THE CONTRACTOR.

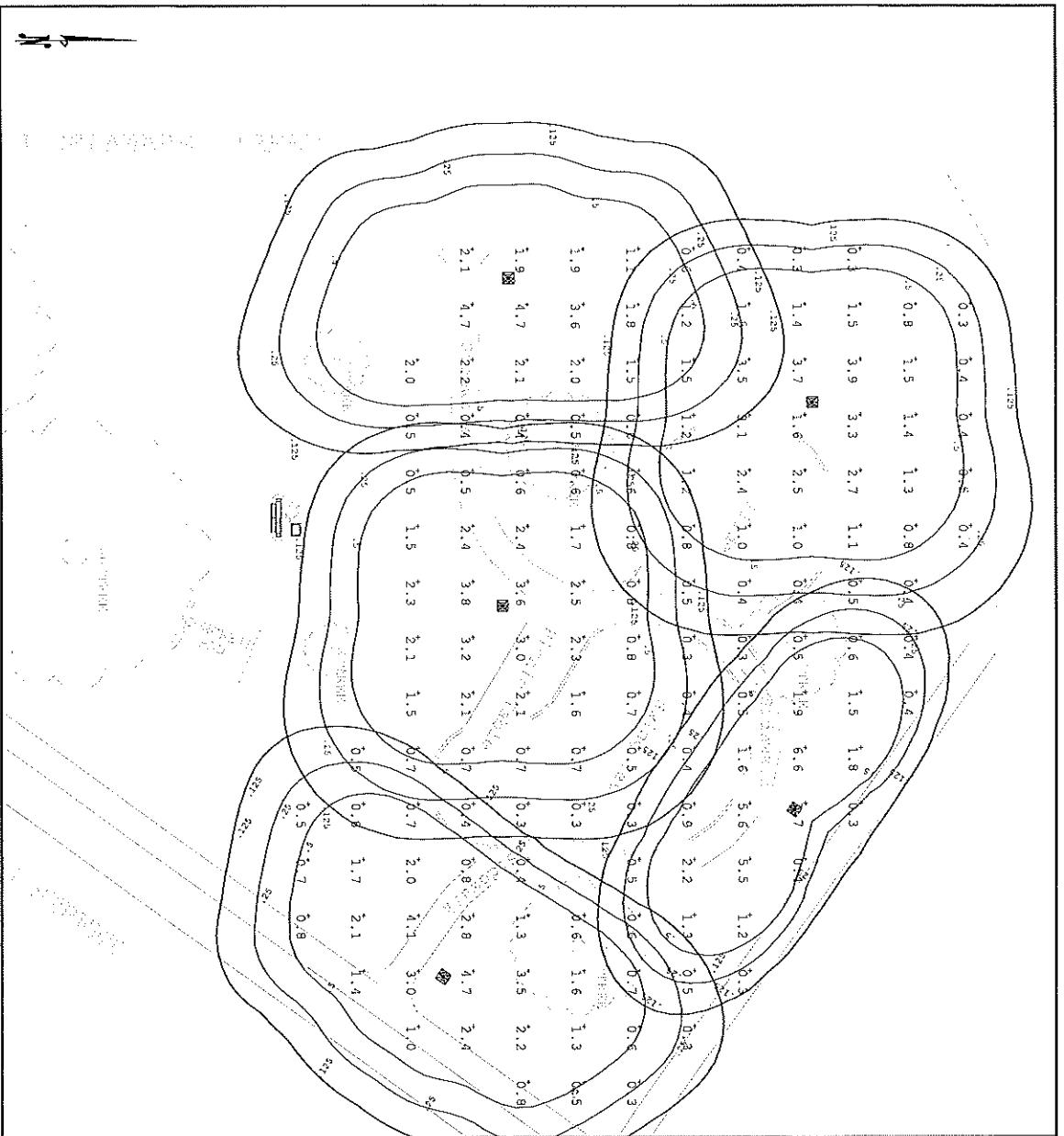
DEMOLITION KEY NOTES:

- ⓧ CONTRACTOR SHALL PROVIDE COMPLETE DEMOLITION OF EXISTING OVERHEAD POWER LINES AND TWO WOOD UTILITY POLES WITH LIGHT FIXTURES, COORDINATE WITH CHL&P FOR SERVICE RECONSTRUCTION.
- ⓧ PROVIDE SELECTIVE DEMOLITION OF SERVICE EQUIPMENT, REMOVE AND PROTECT EXISTING IRRIGATION CONTROLLERS.
- ⓧ COORDINATE WITH CHL&P FOR ELECTRICAL SERVICE POINT OF DEMOLITION.



EXISTING ELECTRICAL SERVICE DETAIL
 SCALE NONE

E1	ELECTRICAL DEMOLITION PLAN		CITY OF WENATCHEE CHASE PARK ELECTRICAL AND LIGHTING UPGRADES WENATCHEE, WASHINGTON PROJECT NO. P23102		 123 Orme Garden Rd, Suite C1 Wenatchee, WA 98801 www.ztek.com	<table border="1"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>6</td> <td>05/24/2023</td> <td>REVISED SET</td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	REV	DATE	DESCRIPTION	6	05/24/2023	REVISED SET							<table border="1"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	REV	DATE	DESCRIPTION									
			REV	DATE	DESCRIPTION																										
6	05/24/2023	REVISED SET																													
REV	DATE	DESCRIPTION																													



LIGHTING CALCULATIONS PLAN
SCALE = 1" = 10' FEET

GENERAL NOTES

- 1. LIGHTING CALCULATIONS SHOW AND FOR INFORMATION PURPOSES ONLY

DATE	BY	CHKD BY	APP'D BY

LIGHTING CALCULATIONS
SCALE: NONE

REV	DATE	DESCRIPTION	REV	DATE	DESCRIPTION
1	06/26/2013	ISSUED FOR PERMITS			



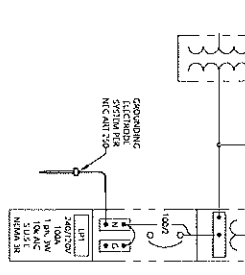
CITY OF WENATCHEE
CHASE PARK
ELECTRICAL AND LIGHTING UPGRADES
 WENATCHEE, WASHINGTON
 PFC:6110, P3312P

LIGHTING CALCULATIONS PLAN
E4

KEY NOTE:
 ⬡ ALL MATERIALS AND INSTALLATION SHALL BE PER CURRENT CODE REQUIREMENTS.

GENERAL NOTES:
 1. PROVIDE ELECTRICAL INSTALLATION IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AND LOCAL CODES AS ADAPTED BY THE PM.
 2. PROVIDE FULL WIRING DIAGRAMS, WIRING SCHEDULES, AND CONDUIT SCHEDULES. THE ELECTRICAL DRAWINGS AND CONDUIT INSTALLATION SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.
 3. GROUNDING: GROUNDING SHALL BE PROVIDED ON ALL ELECTRICAL CIRCUITS FOR THE PURPOSE OF REDUCING THE RISK OF ELECTRICAL FAULTS AND SHOCK HAZARD. THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL NECESSARY GROUNDING, INCLUDING BONDING, GROUNDING OF SWITCH GEAR, AND PROVISION OF ELECTRICAL SERVICE.

SPRING CIRCUIT
 ASSIGNED TO #1
 SERVICE PANEL
 (SEE SHEET #1)
 TOTAL LOAD
 1.7A AMP
 117A VA
 1.17A VA



ONE LINE DIAGRAM
 SCALE: NONE

PANEL SCHEDULE

CIRCUIT NO.	DESCRIPTION / LOCATION	TOTAL LOAD			TOTAL D.E.C.			TOTAL D.E.C.			CIRCUIT NO.	DESCRIPTION / LOCATION	
		LOAD (VA)	TYPE	AMP	LOAD (VA)	TYPE	AMP	LOAD (VA)	TYPE	AMP			
1	SPRING CIRCUIT	1170	C	1.7	1170	C	1.7	1170	C	1.7	1	SPRING CIRCUIT	
2	120V AREA RECEPTACLE	100	R	2	100	R	2	100	R	2	2	120V AREA RECEPTACLE	
3	RECEPTACLE	100	R	2	100	R	2	100	R	2	3	RECEPTACLE	
4	PANEL	500	C	1	500	C	1	500	C	1	4	PANEL	
5	PANEL	500	C	1	500	C	1	500	C	1	5	PANEL	
6	240V AREA RECEPTACLE	1000	R	2	1000	R	2	1000	R	2	6	240V AREA RECEPTACLE	
7	PANEL	500	C	1	500	C	1	500	C	1	7	PANEL	
8	240V AREA RECEPTACLE	1000	R	2	1000	R	2	1000	R	2	8	240V AREA RECEPTACLE	
9	PANEL	500	C	1	500	C	1	500	C	1	9	PANEL	
10	240V AREA RECEPTACLE	1000	R	2	1000	R	2	1000	R	2	10	240V AREA RECEPTACLE	
11	PANEL	500	C	1	500	C	1	500	C	1	11	PANEL	
12	240V AREA RECEPTACLE	1000	R	2	1000	R	2	1000	R	2	12	240V AREA RECEPTACLE	
13	PANEL	500	C	1	500	C	1	500	C	1	13	PANEL	
14	240V AREA RECEPTACLE	1000	R	2	1000	R	2	1000	R	2	14	240V AREA RECEPTACLE	
15	PANEL	500	C	1	500	C	1	500	C	1	15	PANEL	
16	240V AREA RECEPTACLE	1000	R	2	1000	R	2	1000	R	2	16	240V AREA RECEPTACLE	
17	PANEL	500	C	1	500	C	1	500	C	1	17	PANEL	
18	240V AREA RECEPTACLE	1000	R	2	1000	R	2	1000	R	2	18	240V AREA RECEPTACLE	
TOTAL CONNECTED LOAD		1170	PH A	1.7	1170	PH A	1.7	1170	PH A	1.7	TOTAL CONNECTED LOAD		
TOTAL CONNECTED LOAD		1170	PH B	1.7	1170	PH B	1.7	1170	PH B	1.7	TOTAL CONNECTED LOAD		
TOTAL CONNECTED LOAD		1170	PH C	1.7	1170	PH C	1.7	1170	PH C	1.7	TOTAL CONNECTED LOAD		
TOTAL CONNECTED LOAD (3 PHASE)				3.4 AMPS	TOTAL D.E.C. LOAD				3.4 AMPS	TOTAL D.E.C. LOAD			
TOTAL CONNECTED LOAD (3 PHASE)				1.17A VA	TOTAL D.E.C. LOAD				1.17A VA	TOTAL D.E.C. LOAD			
TOTAL CONNECTED LOAD (3 PHASE)				2.2 AMPS	TOTAL D.E.C. LOAD				2.2 AMPS	TOTAL D.E.C. LOAD			
TOTAL CONNECTED LOAD (3 PHASE)				3.4 AMPS	TOTAL D.E.C. LOAD				3.4 AMPS	TOTAL D.E.C. LOAD			

PANEL SCHEDULE
 SCALE: NONE

CONDUIT SCHEDULE

ID	VOLTAGE	CONDUIT	USE: O/C	SIZE	QTY	REQD	TO
1	120V	1/2"	ELECTRICAL	1/2"	3	3	SPRING CIRCUIT
2	120V	1/2"	ELECTRICAL	1/2"	3	3	120V AREA RECEPTACLE
3	240V	1/2"	ELECTRICAL	1/2"	3	3	240V AREA RECEPTACLE
4	120V	1/2"	ELECTRICAL	1/2"	3	3	PANEL
5	120V	1/2"	ELECTRICAL	1/2"	3	3	PANEL
6	240V	1/2"	ELECTRICAL	1/2"	3	3	240V AREA RECEPTACLE
7	240V	1/2"	ELECTRICAL	1/2"	3	3	PANEL
8	240V	1/2"	ELECTRICAL	1/2"	3	3	240V AREA RECEPTACLE
9	240V	1/2"	ELECTRICAL	1/2"	3	3	PANEL
10	240V	1/2"	ELECTRICAL	1/2"	3	3	240V AREA RECEPTACLE
11	240V	1/2"	ELECTRICAL	1/2"	3	3	PANEL
12	240V	1/2"	ELECTRICAL	1/2"	3	3	240V AREA RECEPTACLE
13	240V	1/2"	ELECTRICAL	1/2"	3	3	PANEL
14	240V	1/2"	ELECTRICAL	1/2"	3	3	240V AREA RECEPTACLE
15	240V	1/2"	ELECTRICAL	1/2"	3	3	PANEL
16	240V	1/2"	ELECTRICAL	1/2"	3	3	240V AREA RECEPTACLE
17	240V	1/2"	ELECTRICAL	1/2"	3	3	PANEL
18	240V	1/2"	ELECTRICAL	1/2"	3	3	240V AREA RECEPTACLE

CONDUIT SCHEDULE
 SCALE: NONE

LUMINAIRE SCHEDULE

ID	DESCRIPTION	QUANTITY	VOLTS	WATTS	MANUFACTURER	CATALOG NUMBER
1	LED RECESSED DOWN LIGHT	1	120V	25W	LED	P1-4-30X50-RD-S-3000K-SW-FC-DMT
2	LED RECESSED DOWN LIGHT	1	120V	25W	LED	P1-4-30X50-RD-S-5000K-SW-FC-DMT
3	LED RECESSED DOWN LIGHT	1	120V	25W	LED	P1-4-30X50-RD-S-3000K-SW-FC-DMT
4	LED RECESSED DOWN LIGHT	1	120V	25W	LED	P1-4-30X50-RD-S-5000K-SW-FC-DMT
5	LED RECESSED DOWN LIGHT	1	120V	25W	LED	P1-4-30X50-RD-S-3000K-SW-FC-DMT
6	LED RECESSED DOWN LIGHT	1	120V	25W	LED	P1-4-30X50-RD-S-5000K-SW-FC-DMT

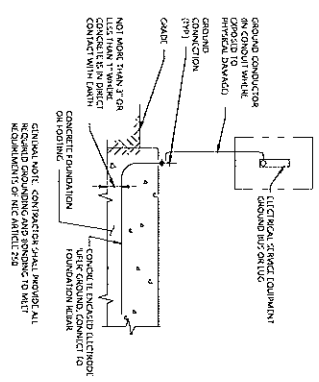
LUMINAIRE SCHEDULE
 SCALE: NONE

REV	DATE	DESCRIPTION	BY	CHKD
1	08/15/23	ISSUED FOR PERMITS	DAVE	DAVE
2	08/22/23	ISSUED FOR PERMITS	DAVE	DAVE
3	08/22/23	ISSUED FOR PERMITS	DAVE	DAVE
4	08/22/23	ISSUED FOR PERMITS	DAVE	DAVE
5	08/22/23	ISSUED FOR PERMITS	DAVE	DAVE
6	08/22/23	ISSUED FOR PERMITS	DAVE	DAVE
7	08/22/23	ISSUED FOR PERMITS	DAVE	DAVE
8	08/22/23	ISSUED FOR PERMITS	DAVE	DAVE
9	08/22/23	ISSUED FOR PERMITS	DAVE	DAVE
10	08/22/23	ISSUED FOR PERMITS	DAVE	DAVE
11	08/22/23	ISSUED FOR PERMITS	DAVE	DAVE
12	08/22/23	ISSUED FOR PERMITS	DAVE	DAVE

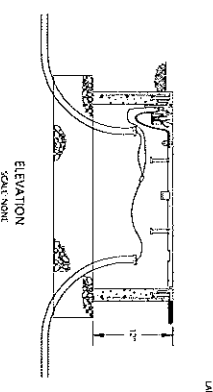
ZTEK ENGINEERING
 123 One-Carbon Rd, Suite C5
 Wenatchee, WA 98801
 www.ztek.com

CITY OF WENATCHEE
CHASE PARK
ELECTRICAL AND LIGHTING UPGRADES
 WENATCHEE, WASHINGTON
 PROJECT NO. P232103

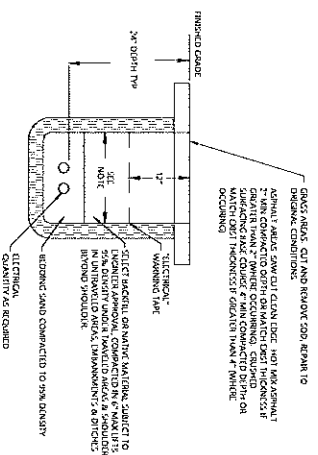
ELECTRICAL ONE LINE AND SCHEDULES
E5



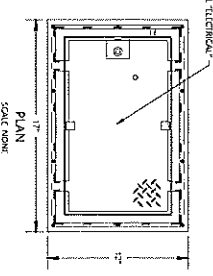
1 GROUNDING SYSTEM DETAIL
SCALE: NONE



2 ELECTRICAL HANDHOLE DETAIL
SCALE: NONE



3 ELECTRICAL RACEWAY AND TRENCHING DETAIL
SCALE: NONE



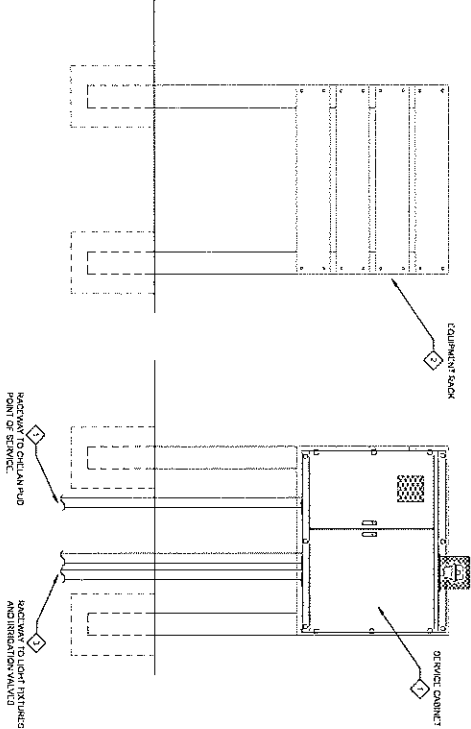
4 ELECTRICAL HANDHOLE DETAIL
SCALE: NONE

- 1. RACEWAY COVER - CHECK INSURANCE CLASS, TYPE, UL LISTED, RATED 250V, 15 AMP, 1/2\"/>
- 2. DIMENSIONS ARE APPROXIMATE MINIMUM DIMENSIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL SELECTION TO MEET LOCAL CODES AND REGULATORY REQUIREMENTS.
- 3. UP AND METALLIC COMPONENTS SHALL BE GROUNDING MATERIAL 25.

E6 ELECTRICAL DETAILS	CITY OF WENATCHEE CHASE PARK ELECTRICAL AND LIGHTING UPGRADES WENATCHEE, WASHINGTON PROJECT NO. P33122			123 Orme Gardens Rd, Suite C1 Wenatchee, WA 98801 www.ztek.com	<table border="1"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>DESCRIPTION</th> <th>REV</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>08/14/2023</td> <td>ISSUE FOR SET</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	REV	DATE	DESCRIPTION	REV	DATE	DESCRIPTION	1	08/14/2023	ISSUE FOR SET			
		REV	DATE	DESCRIPTION	REV	DATE	DESCRIPTION										
1	08/14/2023	ISSUE FOR SET															
<small> Prepared and Issued for the City of Wenatchee by ZTEK ENGINEERING 11/23/23 P33122-06 </small>																	

KEY NOTES:

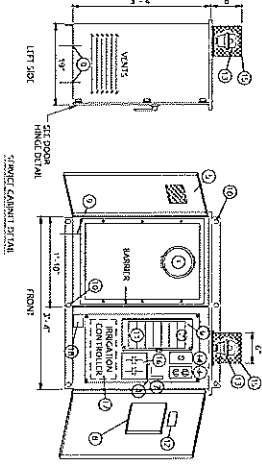
- ◆ COORDINATE WITH CHASE QUANTITY AND FOR THE NEW 100 AMP SERVICE SERVICE CABINET AND RECONNECT EXISTING AND CONDUIT TO OTHER HOLES PROVIDE ALL MATERIALS AND WORKMANSHIP TO MATCH EXISTING.
- ◆ FINISH EQUIPMENT UNDER THE ELECTRICAL EQUIPMENT PROVIDE WEIGHTS OF 3" X 4" VIBRATION ISOLATORS WITH 2" X 2" BRASS AND STAINLESS STEEL HARDWARE SET IN CONCRETE FOOTINGS. SUBMIT FOR LUMENEX APPROVAL PRIOR TO CONSTRUCTION.
- ◆ NOTE ALL UNDERGROUND 50/40 PIG CONDUIT SHALL BE ADDED TO BEAD CATALOGUED STEEL BEAD CONDUIT AT PANEL SUPPORT WALL. ALL WADING GROUND CONDUIT IN THE MAIN SHALL BE 805. PROVIDE CONDUITING PER N.E.C. ARTICLE 750 AND DETAIL 1 SHEET 15.



SERVICE CABINET RACK AND ELEVATIONS
SCALE: 1/8\"/>

GENERAL NOTES:

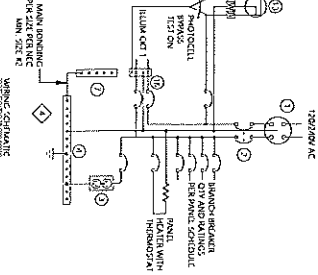
1. 100 AMP TYPE 120/240 V SERVICE CABINET
2. ALL WADING STANDARDS SPECIFICATION 9-5234, SERVICE CABINET
3. HINGES SHALL HAVE STAINLESS STEEL OR BRASS FIN.
4. CABINET SHALL BE STAINLESS STEEL OR ALUMINUM, FINISH MINUM 3B AND SHALL INCLUDE TWO MAIN DOOR VENTS WITH SCREENING TO PREVENT INSECT ENTRY
5. ELECTRICAL EQUIPMENT DOORS SHALL BE END LOCKING. EACH DOOR SHALL BE HINGED TO THE RIGHT.
6. ALL INSTALLATION SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL CODES.
7. THE CONSTRUCTION SHALL VERIFY THE EXISTING UTILITY REQUIREMENTS FROM TO THE WADING SHEET OF EQUIPMENT INSTALLATION.
8. DIRECTION, SHOWING SET NUMBER AND SHALL BE ADJUSTED TO ACCOMMODATE ALL WADING SHEET OF HIGH CLEARANCE AND SHALL BE ADJUSTED TO ACCOMMODATE MAIN WADING RAILING. ALL MATERIALS SHALL BE TO THE WADING SHEET ACCORDANCE WITH THE WADING SHEET OF EQUIPMENT AS SHOWN ON THE WADING SHEET SHALL BE STAINLESS STEEL.
9. ALL WADING SHEET FOR MOUNTING THE PHOTOCELL ENCLOSURE SHALL BE STAINLESS STEEL.
10. UNDER THE CHANNEL AND MOUNTING HARDWARE COMPONENTS SHALL BE STAINLESS STEEL.
11. REPAIR CONDUIT CONFORMANCE ON ALL CONDUITS. PLACE CONDUITS TIGHT WITH TOP OF CONDUIT FOUNDATION.



SERVICE CABINET TYPE B MODIFIED WSDOT PLAN J-3B
SCALE: 1/8\"/>

KEY:

- ① WATER BAIT PHOTOCELL AND UTILITY REQUIREMENTS
- ② MAIN BREAKER SET PANEL SCHEDULE
- ③ PHOTOCELL ENCLOSURE (PER 20 AMP - 120 VOLTS)
- ④ NEUTRAL BUSES IN LUG COPPER
- ⑤ HINGED FRONT DOOR WITH 4" X 4" MAIN POLISHED WIRE GLASS WINDOW HINGED DOOR HINGED WITH 1/4" BRASS SCREWS OR SLIP LATCH
- ⑥ CABINET MAIN BREAKING PANELS BUS SHALL BE LUG BRASS COPPER. SEE CABINET MAIN BREAKING PANEL DETAIL
- ⑦ MAIN WADING DISCONNECT
- ⑧ 1/4" DIA. BUSHING FROM HOLES PANEL RIGHT CALWADING
- ⑨ MOUNTING HOLE. SEE SERVICE CABINET MOUNTING DETAIL
- ⑩ 1/4" DIA. BRASS BUSHING - MINIMUM SET WITH STRIKER MAIN BREAKER. SEE PANEL SCHEDULE LABEL CABINET WITH WADING SHEET
- ⑪ PHOTOCELL CONTROL. STD SPEC 9-291112
- ⑫ TEST SWITCH (50% SHAP ACTION) POSITIVE CLAMP 15 AMP - 120/277 VOLT - 1" BAYONET PHOTOCELL ENCLOSURE SHALL BE FABRICATED FROM 100% 304 - 316 ALUMINUM WITH 1/8" X 1/8" OPENING CONDUIT TO SET BEYOND STEEL WADING CONTRACTOR SET PANEL SCHEDULE
- ⑬ PROVIDE SPACE FOR MOUNTING OF REDUCED OPTING REGULATION CONTROLLER
- ⑭ PANEL WATER AND THERMOSTAT





4130_LED HERITAGE SERIES

LED

EPA
2.46
(ft²)

WEIGHT
55LBS

7 YEAR
WARRANTY

LUMEN
RANGE
2,605 to
9,325

LIFE SPAN
L70
MINIMUM
100,000
HOURS

UL
LISTED

CLICK
FOR FAQ'S

JOB NAME _____

FIXTURE TYPE _____

MEMO _____

BUILD A PART NUMBER

ORDERING EXAMPLE: **2A-4130ALED-12L40T5-MDL014-CTA-PEC-FHD/480PM/3412FP4/SCC/BKT**

Mounting Config.	Fixture	LED	CCT	Distribution Type	Driver	Lens	Option Control	Option Fuse	Option Hangstraight	Option House Side Shield	Option Chimney	Option Dome Lens	Arm <small>See Arm Spec Sheets</small>	Pole <small>See Pole Spec Sheets</small>	Finish
PT	4130CLEDD	16L	30	T5	MDL014	SV1					FHC				BKT

Mounting Configuration

[\(Click here to view mounting configuration sheet\)](#)

- IW
- 2A90
- 4A
- SH44¹
- **PT**
- 2APT
- 4APT
- CH44¹
- IA
- 3A
- IAM
- CAT
- IAPT
- 3A90
- 2AM
- 2A
- 3APT
- 450PB

W = Wall Mount PT = Post Top APT = Post Top Arm Mid-Mount
A = Arm Mount AM = Arm Mid-Mount PB = Pier Base
SH = Stem Hung CH = Chain Hung CAT = Catenary

¹Include overall drop in inches after designation for Stem/Chain application (IE: CH44-48")

Fixture

- 4130ALED
- 4130ALEDH
- 4130BLED
- **4130CLEDD**
- 4130CLEDDH

(H) - Hanging style fixture.

LED

- 24L
- **16L**
- 12L
- 8L

CCT - Color Temperature (K)

- 27(00)
- **30(00)**
- 35(00)
- 40(00)
- 50(00)

Distribution Type

- T2
- **T3**
- T4
- **T5**

Driver

- **MDL014 (120V-277V, 140mA)**
- MDH014 (347V-480V, 140mA)

Lens [\(Click here to link to lens specification page\)](#)

- CSA (Clear Seeded Acrylic)
- CTA (Clear Textured Acrylic)
- PA (Prismatic Acrylic)
- **SV1 (Flat Soft Vue Light Diffused Acrylic)**
- SV2 (Flat Soft Vue Moderate Diffused Acrylic)
- SV4 (Flat Soft Vue Maximum Diffused Acrylic)

Options [\(Click here to link to view accessories sheet\)](#)

- PEC Electronic Button Photocontrol (120V-277V)
- PEC4 Electronic Button Photocontrol (480V)
- FHD² Double Fuse and Holder
- EZ Vertical Hangstraight, Large, "EZ" Mount
- HSS60 60° House Side Shield
- HSS120 120° House Side Shield

- HSS180 180° House Side Shield
- **BLOC Back Light Optical Control**
- **FHC Frosted Hurricane Chimney**
- SVIF Light diffused internal flat lens
- SV2F Moderate diffused internal flat lens

²Ships loose for installation in base.

Arm [\(Click here to view arm website page\)](#)

See Arms & Wall Brackets specification sheets.

- 478
- 6236
- TA
- BA
- 80
- 579
- TASCRC

Pole [\(Click here to view pole website page\)](#)

See Pole specification sheets.

Finish [\(Click here to view paint finish sheet\)](#)

Standard Finishes³

- **BKT Black Textured**
- WHT White Textured
- PGT Park Green Textured
- ABZT Architectural Medium Bronze Textured
- DBT Dark Bronze Textured

³Smooth finishes are available upon request.

Custom Finishes⁴

- CM Custom Match
- OI Old Iron
- RT Rust
- WBR Weathered Brown
- CD Cedar
- WBK Weathered Black
- TT Two Tone

⁴Custom colors require upcharge.

Sternberg Select Finishes

- VG Verde Green
- SI Swedish Iron
- OWGT Old World Gray Textured

Specifications

Fixture

The 4130 Heritage II Series is an elegantly styled fixture series featuring a tapered six sided cage and roof. It shall be appointed with a cast aluminum decorative finial.

Fitter - Standard

The fitter or base shall be heavy wall cast aluminum, 356 alloy for high tensile strength. It shall have an inside diameter opening to 3" diameter pole or tenon. When ordered with a Sternberg pole, the fitter shall be set screwed to the pole top or tenon.

LED's

The luminaire shall use high output, high brightness LED's. They shall be mounted in arrays, on printed circuit boards designed to maximize heat transfer to the heat sink surface. The arrays shall be roof mounted to minimize up-light. The LED's and printed circuit boards shall be 100% recyclable; they shall also be protected from moisture and corrosion by a conformal coating. They shall not contain lead, mercury or any other hazardous substances and shall be RoHS compliant. The LED life rating data shall be determined in accordance with IESNA LM-80. The High Performance white LED's will have a life expectancy of approximately 100,000 hours with not less than 70% of original brightness (lumen maintenance), rated at 25°C. The High Brightness, High Output LED's shall be 5000K (4500K, 3000K, 3500K or 2700K option) color temperature with a minimum CRI of 70. Consult factory for custom color CCT. The luminaire shall have a minimum _____ (see table) delivered initial lumen rating when operated at steady state with an average ambient temperature of 25°C (77°F).

Optics

The luminaire shall be provided with individual, refractor type optics applied to each LED. The luminaire shall provide Type____ (2, 3, 4, or 5) light distribution per the IESNA classifications. Testing shall be done in accordance with IESNA LM-79.

Electronic Drivers

The LED driver shall be U.L. Recognized. It shall be securely mounted inside the fixture, for optimized performance and longevity. It shall be supplied with a quick-disconnect

See next page



SternbergLighting

ESTABLISHED 1923

800-621-3376
555 Lawrence Ave., Roselle, IL 60172
contactus@sternberglighting.com
www.sternberglighting.com

4130_LED HERITAGE SERIES



electrical connector on the power supply, providing easy power connections and fixture installation. It shall have overload, overheat and short circuit protection, and have a DC voltage output, constant current design, 50/60HZ. It shall be supplied with line-ground, line-neutral and neutral-ground electrical surge protection in accordance with IEEE/ANSI C62.41.2 guidelines. It shall be a high efficiency driver with a THD less than 20% and a high power factor greater than .9. It shall be dimming capable using a 0-10v signal, consult factory for more information.

Photocontrols

Button Style: The photocontrol shall be mounted on the fixture and pre-wired to driver. The electronic button type photocontrol is instant on with a 5-10 second turn off, and shall turn on at 1.5 footcandles with a turn-off at 2-3 footcandles. Photocontrol is 120-277 volt and warranted for 6 years. See pole spec sheet for pole mounted version.

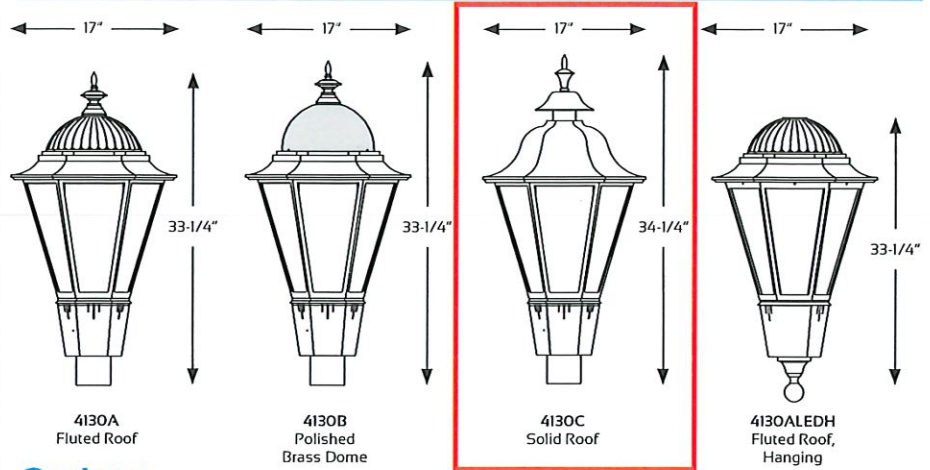
Warranty

Seven-year limited warranty. See product and finish warranty guide for details.

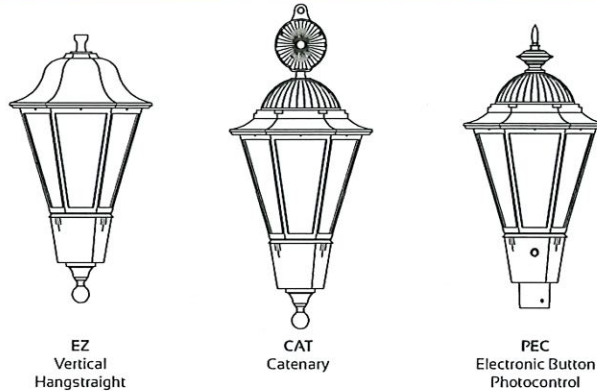
Finish

Refer to website for details.

Fixture Examples



Options



Performance

MODEL #	T2 DELIVERED LUMENS	EFFICACY (LPW)	T3 DELIVERED LUMENS	EFFICACY (LPW)	T4 DELIVERED LUMENS	EFFICACY (LPW)	T5 DELIVERED LUMENS	EFFICACY (LPW)	WATTS
24L40T_-MDL014	8680	100.9	8735	101.6	8965	104.2	9325	108.4	86
24L30T_-MDL014	8275	96.2	8330	96.9	8550	99.4	8890	103.4	86
24L27T_-MDL014	7485	87.0	7530	87.6	7730	89.9	8040	93.5	86
16L40T_-MDL014	6095	105.1	6120	105.5	6235	107.5	6525	112.5	58
16L30T_-MDL014	5810	100.2	5835	100.6	5945	102.5	6220	107.2	58
16L27T_-MDL014	5255	90.6	5275	90.9	5375	92.7	5625	97.0	58
12L40T_-MDL014	4515	100.3	4565	101.4	4710	104.7	4955	110.1	45
12L30T_-MDL014	4305	95.7	4350	96.7	4490	99.8	4725	105.0	45
12L27T_-MDL014	3890	86.4	3935	87.4	4060	90.2	4270	94.9	45
8L40T_-MDL014	3020	97.4	3120	100.6	3180	102.6	3425	110.5	31
8L30T_-MDL014	2880	92.9	2975	96.0	3030	97.7	3265	105.3	31
8L27T_-MDL014	2605	84.0	2690	86.8	2740	88.4	2955	95.3	31



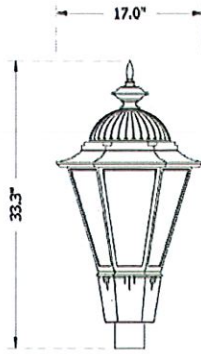
SternbergLighting

ESTABLISHED 1923

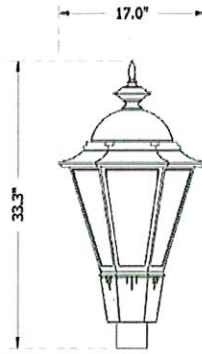
800-621-3376
 555 Lawrence Ave., Roselle, IL 60172
 contactus@sternberglighting.com
 www.sternberglighting.com

Project Name _____ Qty _____

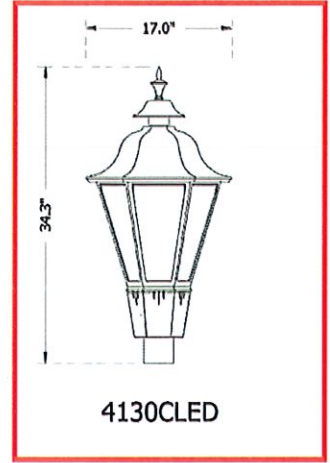
Type _____ Catalog / Part Number _____



4130ALED

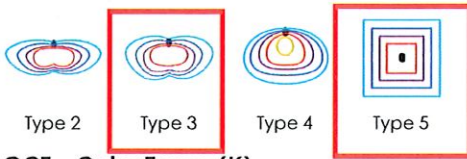


4130BLED



4130CLEd

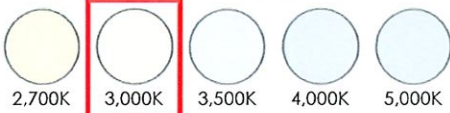
Distribution Type



Description

The 4130_LED Heritage II Series is a medium scale elegantly styled fixture series featuring a tapered six sided cage and roof. Three unique roof styles makes this a configurable product for any application. EPA: 2.46 (#) | WEIGHT: 55 LBS

CCT - Color Temp (K)



Features

Mounting Configuration

- 1W: Wall Mount
- 1A: 1 Arm Mount
- 2A: 2 Arm Mount @ 180°
- 2APT: 2 Arm @ 180° & Post Top
- 3A90: 3 Arms @ 90°
- 4A: 4 Arms @ 90°
- 1AM: 1 Arm Mid-Mount
- 450PB: Pier Base
- CH44: Chain Hung
- PT: Post Top
- 1APT: 1 Arm & Post Top
- 2A90: 2 Arm Mount @ 90°
- 3A: 3 Arms @ 120°
- 3APT: 3 Arm @ 120° & Post Top
- 4APT: 4 Arm @ 90° & Post Top
- 2AM: 2 Arm Mid-Mount @180°
- SH44: Stem Hung
- CAT: Catenary

7 Year Warranty



Optional Control

- PEC: Electronic Button Photocontrol (120V-277V)
- PEC4: Electronic Button Photocontrol (480V)

Certifications

Optional Fuse

- FHD: Double Fuse and Holder

Optional Hangstraight

- EZ: Vertical Hangstraight, Large, "EZ" Mount

Optional House Side Shield

- BLOC: Back Light Optical Control

Optional Fixed Dimming Resistor Board

- FDRB: Fixed Dimming Resistor Board

Physical

Fixture

- 4130ALED: Heritage, Fluted Roof
- 4130ALEDH: Heritage, Fluted Roof Hanging
- 4130BLED: Heritage, Polished Brass Dome
- 4130CLEd: Heritage, Solid Roof
- 4130CLEdH: Heritage, Solid Roof Hanging



Lens	CSA: Clear Seeded Acrylic CTA: Clear Textured Acrylic PA: Prismatic Acrylic SV1: Flat Soft Vue Light Diffused Acrylic SV2: Flat Soft Vue Moderate Diffused Acrylic SV4: Flat Soft Vue Maximum Diffused Acrylic
Optional Chimney	FHC: Frosted Chimney
Optional Internal Flat Lens	SV1F: Light diffused internal flat lens SV2F: Moderate diffused internal flat lens
Finish	BKT: Black Textured WH: White Textured PGT: Park Green Textured ABZT: Architectural Medium Bronze Textured DBT: Dark Bronze Textured CM: Custom Match OI: Old Iron RT: Rust WBR: Weathered Brown CD: Cedar WBK: Weathered Black TT: Two Tone VG: Verde Green SI: Swedish Iron OWGT: Old World Gray Textured

Light Source

LED	24L: 24 LEDs 12L: 12 LEDs	16L: 16 LEDs 08L: 8 LEDs
CCT - Color Temp (K)	27: 2,700K 35: 3,500K 50: 5,000K	30: 3,000K 40: 4,000K
Distribution Type	T2: Type 2 T4: Type 4	T3: Type 3 T5: Type 5

Electrical and control

Driver	MDL014: 120V-277V, 140mA	MDH014: 347V-480V, 140mA
---------------	---------------------------------	---------------------------------

Specifications

Filter	The filter shall be heavy wall cast aluminum for high tensile strength. It includes 4 stainless steel Allen-head set screws for attachment to a pole/tenon, and shall slip fit a 3" OD x 3" tall tenon.
Hang-Straight	A hang-straight transition is required for most mounting configurations when a HANGING version of the fixture is selected. The (EZ) is a cast stainless steel ball and swivel vertical hang-straight. The special 2-part design allows for easy installation. It is factory installed under an arm and on the fixture.
Catenary Mount	The Catenary mount option includes a cast aluminum span wire clamp, which accommodates cables 1/4"-5/8" in diameter. Below the clamp is a decorative cast aluminum wire box and cover which transitions to the EZ vertical Hangstraight for fixture attachment. Aircraft Cable by others.
Internal Lens	An optional internal diffusing lens can be added for visual comfort. Suggested for use with CSA lenses but can be used in addition to any other external lens. Optional (SV1F) light diffused acrylic flat horizontal lens. Optional (SV2F) moderate diffused acrylic flat horizontal lens.

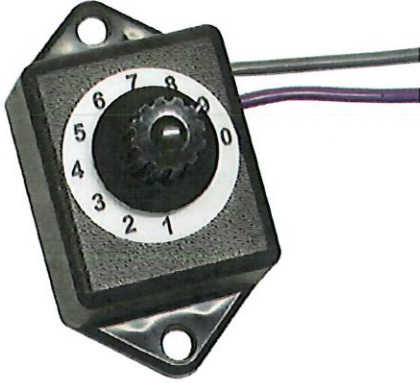
Comfortable Optics	SoftVue™ lens provides optimal visual comfort
UL Listing	UL listed per UL1598 for Wet Locations and CSA 22.2 No. 250.0 for the US and Canada.
Electronic Driver	The LED driver shall be securely mounted inside the fixture, for optimized performance and longevity and shall be U.L. Recognized. It shall be supplied with a quick-disconnect electrical connector on the power supply, providing easy power connections and fixture installation. It shall have overload, overheat and short circuit protection, and have a DC voltage output, constant current design, 50/60HZ. It shall be supplied with line-ground, line-neutral and neutral-ground electrical surge protection in accordance with IEEE/ANSI C62.41.2 guidelines. It shall be a high efficiency driver with a THD less than 20% and a high power factor greater than .9. It shall be dimming capable using a 0-10v signal, consult factory for more information.
Finish	6 Stage Polyester Powdercoat paint system.
Traditional Finishes	Traditional paint finishes are available in Sternberg Lighting's Traditional product line. A range of colors help accent the decorative elements on the product. Finishes are available in textured or smooth.
Sternberg Select Finishes	Available with Sternberg Select Finishes in Verde Green, Swedish Iron, and Old World Gray Textured for a traditional aesthetic.
Warranty	7-year limited warranty (See Website for Terms and Conditions.)
LEDs	<p>The LEDs are mounted to maximize thermal transfer to the heat sink surface. The LEDs shall be 100% recyclable; not contain lead, mercury or any other hazardous substances and shall be RoHS compliant. Lumen maintenance shall be determined in accordance with IESNA TM-21, based on LED manufacturer LM-80 test data of no less than 6,000 hours and in-situ testing of the luminaire by an NVLAP accredited Energy Efficient Lighting Products lab. The high-performance white LEDs will have a predicted lumen depreciation of approximately 100,000 hours with greater than 70% of initial output at 25°C. The high brightness, high-output white LEDs shall be 4000K nominal (2700K, 3000K, 3500K or 5000K optional) correlated color temperature (CCT) with a 70 (minimum) color rendering index (CRI). Consult factory for custom CCT or CRI. The luminaire shall have a minimum _____ (see table) delivered initial lumens when operated at steady state with an average ambient temperature of 25°C (77°F).</p> <p>CCT Lumen Derate Values from 4,000K</p> <p>2,700K (70+ CRI)=.92 3,000K (70+ CRI)=.95 3,500K (70+ CRI)=.97 5,000K (70+ CRI)=1.00</p>
Backlight Optical Control	BLOC Optic (BLOC): An optional "Back Light Optical Control" shield can be provided at the factory. This is an internal optic level "House Side Shield" offering significantly reduced backlight and glare while maintaining the original design aesthetics of the luminaire.
Frosted Chimney	An optional hourglass shaped opal glass Hurricane Chimney sits a top a decorative brass holder. This ornate feature adds a decorative element inside the lens to create a classic look.
Fixed Dimming Resistor Board (FDRB)	Optional numbered 10-step selector switch allows for fine adjustment of the light levels in the field, repeatable from location to location. Offers dimming from 25% to 100% of the original output. Enclosure is composite material, sealed to protect components for the life of the product.
Photocontrols	Button Photocell: The photocontrol shall be mounted on the fixture and pre-wired to driver. The electronic button type photocontrol is instant on with a 5-10 second turn off, and shall turn on at 1.5 footcandles with a turn-off at 2-3 footcandles. See pole spec sheet for pole mounted version.

Lumen Chart(s)

Tested with CSA lens

Model #	T2 DELIVERED LUMENS	BUG	EFFICACY (LPW)	T3 DELIVERED LUMENS	BUG	EFFICACY (LPW)	T4 DELIVERED LUMENS	BUG	EFFICACY (LPW)	T5 DELIVERED LUMENS	BUG	EFFICACY (LPW)	WATTAGE
24L40T_-MDL014	8680	B2U3G2	100.9	8735	B3U3G3	101.6	8965	B2U3G2	104.2	9325	B3U3G2	108.4	86
24L30T_-MDL014	8275	B2U3G2	96.2	8330	B3U3G3	96.9	8550	B2U3G2	99.4	8890	B3U3G2	103.4	86
24L27T_-MDL014	7485	B2U3G2	87.0	7530	B3U3G3	87.6	7730	B2U3G2	89.9	8040	B3U3G2	93.5	86
16L40T_-MDL014	6095	B2U3G2	105.1	6120	B2U3G2	105.5	6235	B2U3G2	107.5	6525	B3U3G2	112.5	58
16L30T_-MDL014	5810	B2U3G2	100.2	5835	B2U3G2	100.6	5945	B2U3G2	102.5	6220	B3U3G2	107.2	58
16L27T_-MDL014	5255	B2U3G2	90.6	5275	B2U3G2	90.9	5375	B2U3G2	92.7	5625	B3U3G2	97.0	58
12L40T_-MDL014	4515	B1U2G1	100.3	4565	B1U3G2	101.4	4710	B1U3G2	104.7	4955	B2U3G1	110.1	45
12L30T_-MDL014	4305	B1U2G1	95.7	4350	B1U3G2	96.7	4490	B1U3G2	99.8	4725	B2U3G1	105.0	45
12L27T_-MDL014	3890	B1U2G1	86.4	3935	B1U3G2	87.4	4060	B1U3G2	90.2	4270	B2U3G1	94.9	45
8L40T_-MDL014	3020	B1U2G1	97.4	3120	B1U2G1	100.6	3180	B1U2G1	102.6	3425	B2U2G1	110.5	31
8L30T_-MDL014	2880	B1U2G1	92.9	2975	B1U2G1	96.0	3030	B1U2G1	97.7	3265	B2U2G1	105.3	31
8L27T_-MDL014	2605	B1U2G1	84.0	2690	B1U2G1	86.8	2740	B1U2G1	88.4	2955	B2U2G1	95.3	31

Options



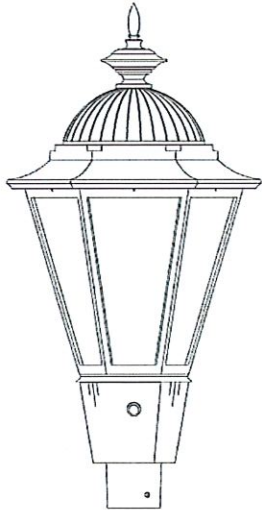
Fixed Dimming Resistor Board (FDRB)



Frosted Hurricane Chimney, Opal Glass (FHC)



Double Fuse Holder & (2) 3A Fuses (FHD)



Button Photocell (PEC/PEC4)

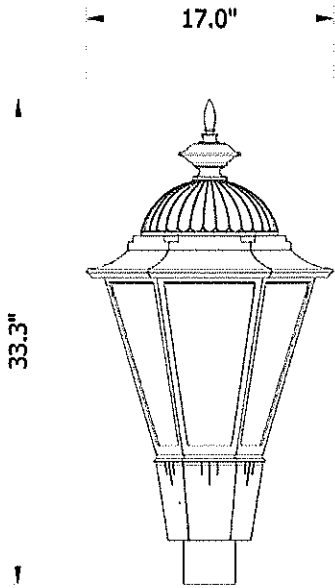


Catenary Mount (CAT)

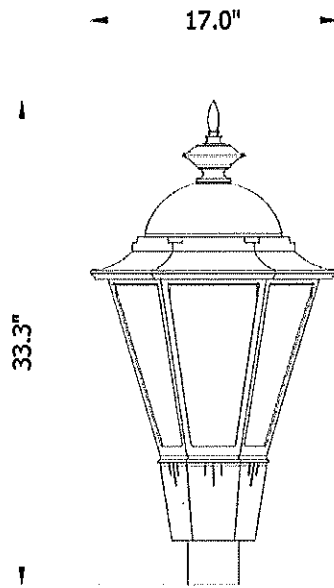


"EZ" Vertical hangstraight (EZ)

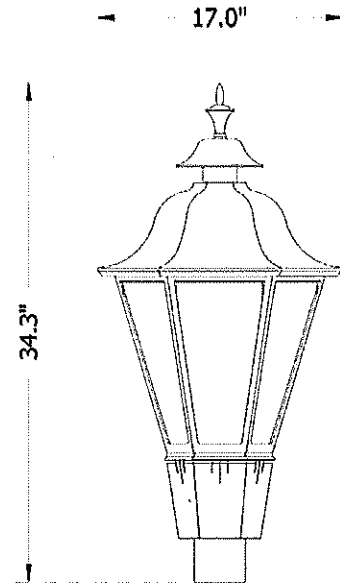
Dimensions



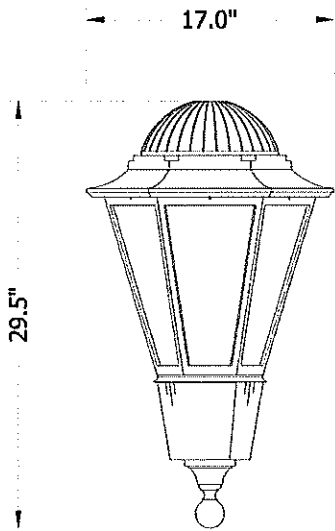
Fluted Roof
(4130ALEDD)



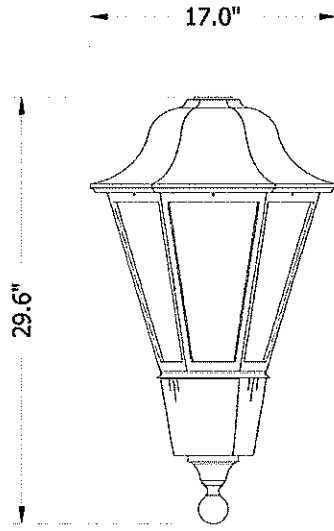
Polished Brass Dome
(4130BLEDD)



Standard Roof
(4130CLEDD)



Fluted Roof, Hanging
(4130ALEDDH)



Standard Roof, Hanging
(4130CLEDDH)

How to Order

Mounting Configuration	Overall Drop Length (Inches) ^{(9) (4)}	Fixture	LED	CCT - Color Temp (K)	Distribution Type	Driver	Lens
1W Wall Mount		4130ALED Heritage, Fluted Roof	24L 24 LEDs	27 2,700K	T2 Type 2	MD1014 120V-277V, 140mA	CSA Clear Seeded Acrylic
PT Post Top ⁽¹⁾		4130ALEDH Heritage, Fluted Roof Hanging	16L 16 LEDs	30 3,000K	T3 Type 3	MDH014 347V-480V, 140mA	CTA Clear Textured Acrylic
1A 1 Arm Mount		4130BLED Heritage, Polished Brass Dome	12L 12 LEDs	35 3,500K	T4 Type 4		PA Prismatic Acrylic
1APT 1 Arm & Post Top		4130CLEd Heritage, Solid Roof	08L 8 LEDs	40 4,000K	T5 Type 5		SV1 Flat Soft Vue Light Diffused Acrylic
2A 2 Arm Mount @ 180°		4130CLEdH Heritage, Solid Roof Hanging		50 5,000K			SV2 Flat Soft Vue Moderate Diffused Acrylic
2A90 2 Arm Mount @ 90°							SV4 Flat Soft Vue Maximum Diffused Acrylic
2APT 2 Arm @ 180° & Post Top							
3A 3 Arms @ 120° ⁽²⁾							
3A90 3 Arms @ 90°							
3APT 3 Arm @ 120° & Post Top							
4A 4 Arms @ 90°							
4APT 4 Arm @ 90° & Post Top							
1AM 1 Arm Mid-Mount							
2AM 2 Arm Mid-Mount @ 180°							
450PB Pier Base ⁽³⁾							
SH44 Stem Hung ⁽³⁾							
CH44 Chain Hung ⁽³⁾							
CAT Catenary ^{(3) (4)}							

Notes:

- 1. For use with Post Top fixture only.
- 2. Only available with a round profile pole.
- 3. For use with hanging (H) fixture only.
- 4. Requires EZ hang-straight.
- 5. Required field for Stem or Chain Mounting Configuration.
- 6. Minimum 38" Overall Drop Length.

How to Order

Optional Control	Optional Fuse (7)	Optional Hangstraight (8)	Optional House Side Shield (9)	Optional Chimney	Optional Internal Flat Lens	Optional Fixed Dimming Resistor Board	Finish
PEC Electronic Button Photocontrol (120V-277V) PEC4 Electronic Button Photocontrol (480V)	FHD Double Fuse and Holder	EZ Vertical Hangstraight, Large, "EZ" Mount	BLOC Back Light Optical Control	FHC Frosted Chimney	SV1F Light diffused internal flat lens SV2F Moderate diffused internal flat lens	FDR8 Fixed Dimming Resistor Board	BKT Black Textured (9) WHI White Textured (9) FGT Park Green Textured (9) ABZT Architectural Medium Bronze Textured (9) DBT Dark Bronze Textured (9) CM Custom Match (10) OI Old Iron (10) RT Rust (10) WBR Weathered Brown (10) CD Cedar (10) WBK Weathered Black (10) IT Two Tone (10) VG Verde Green SI Swedish Iron OWGT Old World Gray Textured

Notes:

- 3. For use with hanging (h) fixture only.
- 7. Ships loose for installation in base.
- 8. Not for use with T5 optic.

- 9. Smooth finishes are available upon request.
- 10. Custom colors require upcharge.

3800 LEESBURG SERIES

SPECIFICATIONS

GENERAL

The ___ ft tall* decorative post shall be aluminum, one-piece construction. The 15" diameter cast aluminum fluted base shall be constructed with a ___ inch diameter extruded aluminum shaft. The model shall be Sternberg Lighting #3800 or #3800R for candy cane poles. The pole shall be U.L. or E.T.L. listed in U.S. and Canada.

CONSTRUCTION

The base shall be designed with a bell shaped lower base and upper base having fourteen flutes and be made of heavy wall, 356 alloy cast aluminum. It shall have a 7/8" thick floor cast as an integral part of the base. The shaft shall be triple circumferentially welded internally and externally to the base for added strength.

___ The **smooth tapered shaft** shall be made of ASTM 6063 extruded aluminum and tempered to a T6 condition.

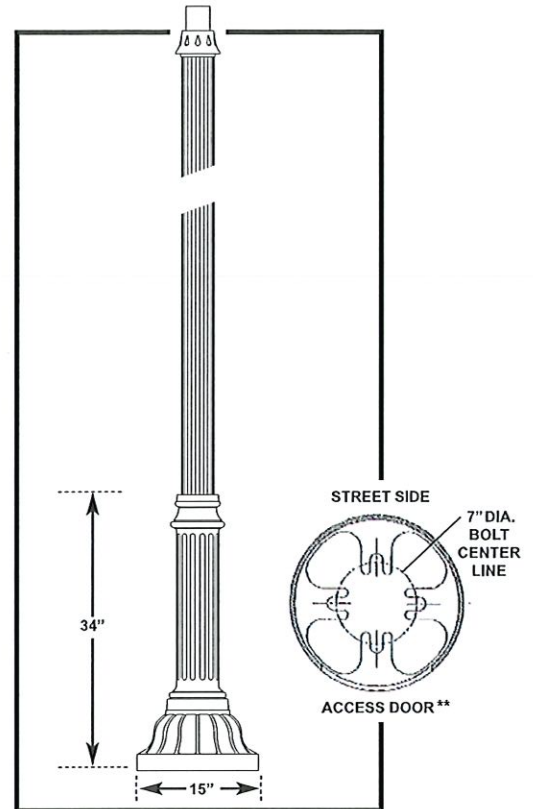
___ The **smooth straight shaft** shall be made of ASTM 6063 extruded aluminum and tempered to a T6 condition.

___ The **straight fluted shaft** shall be made of ASTM 6061 extruded aluminum and tempered to a T6 condition. It shall have a decorative fluted 3" O.D. tenon.

INSTALLATION

Four 3/4" diameter, hot-dipped galvanized "L" type anchor bolts shall be provided with the post for anchorage. A door shall be provided for wiring and anchor bolt access. It shall be secured with tamper proof, stainless steel hardware. Post will be provided with a grounding stud mounted on the base floor opposite the access door.

Indicate the type of shaft needed (above)



**See installation template for exact door position. Bolt circle dimensions may change on taller poles.

Cast Aluminum-Extruded Poles		15" Diameter Base x 34" High	
<p>4" - 3" OD 38 ___ ' T4 08' 10' 12' 14'</p> <p>SMOOTH TAPERED SHAFT</p> <p>† SMOOTH STRAIGHT SHAFT AVAILABLE SPECIFY AS: 4" OD 38 ___ ' P4 08' 10' 12' 14'</p>	<p>5" - 3" OD 38 ___ ' T5 08' 10' 12' 14' 16'</p> <p>SMOOTH TAPERED SHAFT</p> <p>† SMOOTH STRAIGHT SHAFT AVAILABLE SPECIFY AS: 5" OD 38 ___ ' T5 08' 10' 12' 14' 16'</p>	<p>4" OD 38 ___ ' FP4 08' 10' 12' 14'</p> <p>† STRAIGHT FLUTED SHAFT</p>	<p>5" OD 38 ___ ' FP5 08' 10' 12' 14' 16'</p> <p>† STRAIGHT FLUTED SHAFT</p>

*For candy cane poles insert ___ AG ft (feet - above grade height). See diagram on reverse side.

†Tenon not supplied if fixture or arm slip shaft O.D.

3800 LEESBURG SERIES

POSTS / OPTIONS / POST CAPS

BUILDING A PART NUMBER

Straight Poles

MODEL/HEIGHT/SHAFT	POST CAP CENTER	OPTIONS	FINISH
38 12 FP4	BCC	FH	BK

Candy Cane Poles

MODEL/HEIGHT/SHAFT	HEIGHT ABOVE GRADE	OPTIONS	FINISH
38 00 RT4	12 AG		BK

Part Number Selections

MODEL	HEIGHT	SHAFT
• 38	• 08'	• T4: 4"-3" Tapered Smooth*
	• 10'	• T5: 5"-3" Tapered Smooth
	• 12'	• P4: 4" Straight Smooth
	• 14'	• P5: 5" Straight Smooth
	• 16'	• FP4: 4" Straight Fluted*
		• FP5: 5" Straight Fluted
		*Maximum recommended height 14'

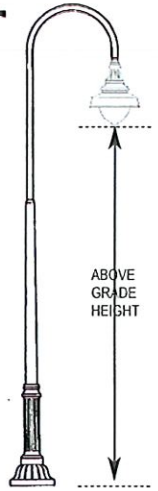
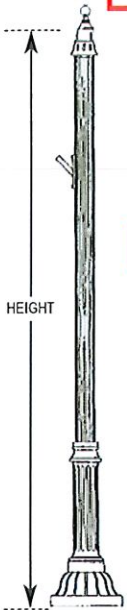
OPTIONS AVAILABLE
• GFI • SBAR • PCD
• GFB • DSPA • SH
• FH • DHPA • SB
• SBA • PA478 • WHK
• DBA
• DB Direct Burial • HB Helix Burial

Part Number Selections

MODEL	HEIGHT	SHAFT	ABOVE GRADE
• 38	• 00	• RT4: 4"-3" Tapered Smooth	• 08' AG
		• RT5: 5"-3" Tapered Smooth	• 10' AG
		• RP4: 4" Straight Smooth	• 12' AG
		• RP5: 5" Straight Smooth	• 14' AG
		• RFP4: 4" Straight Fluted	• 16' AG
		• RFP5: 5" Straight Fluted	














STANDARD FINISHES*	POST CENTER CAP (If Required)
• BKT Black Textured	• BCC
• WHT White Textured	• FCC
• PGT Park Green Textured	• SCC
• ABZT Architectural Medium Bronze Textured	• TFCC
• DBT Dark Bronze Textured	• SSCC

STERNBERG SELECT FINISHES
• RT Rust
• WBR Weathered Brown
• CD Cedar
• WBK Weathered Black
• TT Two Tone
• VG Verde Green
• SI Swedish Iron
• OWGT Old World Gray Textured








OPTIONS AVAILABLE

See Accessories Section for more options and information

 GFI - Ground Fault Interrupter mounts in the pole  GFB - Ground Fault Breaker <i>inside</i> base  FH - Flag Pole Holder mounts on the pole  SBA - Single Banner Arm mounts on the pole  DBA - Double Banner Arms mount on same side of the pole	 SBAR -Single Banner Arm and Ring  DSPA -Double Stepped Planter Arms mount on either side  DHPA -Double Hooked Planter Arms mount on either side  PA478 -Decorative Planter Arms with planter rings	 PCD - Photo Control mounts on door on pole  SH - Speaker Hub for mounting speaker, floodlight or signal  SB - Sign Bracket mounts on pole to hold signs  WHK - Wreath Hook mounts on pole to hold decorations
------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

POST CENTER CAPS (If Required)

 BCC - Ball Center Cap	 FCC - Finial Center Cap	 SCC - Spiked Center Cap	 TFCC - Tall Finial Center Cap	 SSCC - Side Spiked Center Cap
------------------------------------------------------------------------------------------------------------------	--------------------------------------------------------------------------------------------------------------------	--------------------------------------------------------------------------------------------------------------------	--------------------------------------------------------------------------------------------------------------------------	----------------------------------------------------------------------------------------------------------------------------