

**WENATCHEE PLANNING COMMISSION
SCHEDULED MEETING
August 18, 2021
WENATCHEE CITY HALL COUNCIL CHAMBERS
301 Yakima Street, 2nd Floor
Wenatchee, WA 98801
5:30 PM**

AGENDA

I. CALL TO ORDER AND WELCOME

II. ADMINISTRATIVE AFFAIRS

A. Approval of the minutes from the last regular meeting on July 21, 2021.

III. PUBLIC COMMENT PERIOD

Comments for any matters not included on the agenda.

IV. OLD BUSINESS

None

V. NEW BUSINESS

- A. Public hearing: Amendments to the Grandview Historic District Preservation Handbook (CANCELED)
- B. Workshop: Draft amendments to the slope protection standards in the Wenatchee City Code
- C. Workshop: Design and aesthetic standards for streateries

VI. OTHER

None

VII. ADJOURNMENT

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Mayor's office at (509) 888-6204 (TTY 711). Notification 72 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to the meeting (28 CFR 35.102-35.104 ADA Title 1.)

MINUTES

I. CALL TO ORDER

Chair Rani Sampson called the meeting to order at 5:30 p.m. with the following members in attendance: Ace Bollinger, Joe Gamboni, Richard Erickson, Josh Jorgenson, and Susan Albert. Commissioner Lael Gaston was absent.

City Planning staff was represented by: Stephen Neuenschwander, Planning Manager; Rob Jammerman, Public Works Director; and Gary Owen, City Engineer.

II. ADMINISTRATIVE AFFAIRS

A. Approval of the minutes from the regular meeting on May 19, 2021.

Commissioner Ace Bollinger moved to approve the minutes of the May 19, 2021 regular meeting. Commissioner Joe Gamboni seconded the motion. The motion carried.

III. PUBLIC COMMENT PERIOD

There was no public comment.

IV. OLD BUSINESS

None

V. NEW BUSINESS

A. Discussion: 6-year Transportation Improvement Program

Gary Owen, City Engineer, presented the staff report.

Commissioners asked questions of staff and provided input.

VI. OTHER

None

VII. ADJOURNMENT

With no further business to come before the Planning Commission, Chair Rani Sampson adjourned the meeting at 6:26 p.m.

Respectfully submitted,

CITY OF WENATCHEE
DEPARTMENT OF COMMUNITY DEVELOPMENT
Kim Schooley, Administrative Assistant



**City of
Wenatchee**

DEPARTMENT OF COMMUNITY DEVELOPMENT

Public Services Center
1350 McKittrick Street, Suite A
Wenatchee, WA 98801

(509) 888-3200
Fax (509) 888-3201

TO: Planning Commission

FROM: Community Development Staff

SUBJECT: Proposed amendments to slope protection and other related codes

DATE: 8/11/2021

Last year, the city council asked staff to reevaluate the city's codes relating to retaining walls specifically in the context of grading done for new major developments. Certain recent developments had graded land in an area with minimal slope but due to the size of the development, the grade change at the edge of the development was enough to upset adjacent property owners. The council requested that staff look into this situation. After staff completed an initial review, a workshop was held with the planning commission at the August 2020 meeting. The recommendation of the planning commission at the time was that no additional changes be made to the city code. After that, a workshop was held with the city council on September 17, 2020 on the matter. Staff received additional guidance from the council and continued their review. On July 22, 2021 staff provided an update to the city council in a workshop setting. The council provided feedback and guidance on the ideas presented and instructed staff to continue the work within their desired parameters with the planning commission.

The key amendment proposed by the council is that no retaining wall within 5 feet of a rear property line be permitted to be taller than a dimension in the range of 30-36 inches for major developments. It should be noted that permits are only required for walls 4ft or higher unless they are withholding a surcharge. This matter was discussed with the council and they recommended moving forward with a dimension in the 30-36 inch range. Staff has developed draft code amendments for the slope protection code found in [WCC10.48.110](#) and other related code sections.

In addition to the council directed matters, there are additional revisions proposed by staff:

- No retaining walls permitted in a known utility easement;
- New definitions for "fill wall" and "cut wall" in Chapter 10.08.;
- Allowing fences on top of a retaining wall;
- An exemption from certain standards in certain situations at the discretion of the director such as reducing impacts to critical areas.
- Clarifying and adding additional standards for the administrative determination process described in [WCC10.48.110\(4\)](#).

The proposed amendments include both clarifications of existing standards and concepts as well as new or modified standards. The existing code in [WCC10.48.110](#) can be confusing in a number of ways and the proposed amendments attempt to make it both easier for applicants to understand and for staff to administer. Some clarifications include:

- Where and in what situations single walls up to 7 ft are allowed.
- Submittal requirements and standards for the administrative determination option described in [WCC10.48.110\(4\)](#).

Staff will be providing a copy of the draft amendments at the meeting. Staff is looking for high level discussion and direction on the proposed amendments. In future workshop sessions, staff intends to provide the proposed code amendments in the packet.



Department of Community Development
Public Services Center
1350 McKittrick Street, Suite A
Wenatchee, WA 98801
(509) 888-3256

To: City of Wenatchee Planning Commission
From: Community Development Staff
Date: August 11, 2021
RE: Streatery design guidelines discussion

In December of 2020, the City Council passed Ordinance 2020-22 adopting a new process and standards for streateries and sidewalk cafés. These new standards are being implemented this year. In this process, the planning commission is tasked with conducting a design and aesthetic review of the streatery applications. The City has received streatery applications from Lemolo Café and Deli and Café Mela. The Planning Commission has completed design review for both applications. The Lemolo Café and Deli streatery has been approved and installed.

The 2020 Ordinance tasks the Director of Community Development to adopt administrative regulations and design guidelines that supplement the regulations and standards in the ordinance and now City Code. The purpose of the discussion is for the planning commission to provide feedback on elements of design and aesthetics for future inclusion into the administrative design guidelines.

Attached to this memorandum are the following documents for your reference:

1. Ordinance 2020-22
2. Draft City of Spokane Parklet and Streatery Design Standards
3. City of Denton Texas Parklet and Streatery Manual
4. Draft City of Norfolk Virginia Streateries Guidelines and Manual

Please review these documents and come to the meeting prepared to discuss elements that are important for the city to consider as we draft the administrative design guidelines. Your comment and input are especially important as the planning commission is tasked with the design and aesthetic review of streatery applications.

If you have any questions, please contact Stephen Neuenschwander at 509-888-3285 or via email at sneuenschwander@wenatcheewa.gov.

ORDINANCE NO. 2020-22

AN ORDINANCE, creating regulations and permit requirements for private use of City streets and sidewalks for sidewalk cafes, storefront enhancements and display of goods, parklets, and streateries.

WHEREAS, the City desires to promote the vitality of downtown and a mixed-use environment, support sustainability of business, improve the pedestrian experience, create an active street environment, and promote the public health, safety and welfare; and

WHEREAS, the City Council created a demonstration period implemented through Resolution 2012-101 and subsequent resolutions extending the demonstration period through December 31, 2020; and

WHEREAS, the City Council passed Resolution 2016-18 creating a pilot program for up to four parklets or streateries; and

WHEREAS, the demonstration period and pilot program provided opportunities to test and develop standards and processes for implementing outdoor use of public spaces by private businesses on City streets and sidewalks; and

WHEREAS, the City Council desires to formalize rules and regulations for private use of public streets and sidewalks.

SECTION I

Amending Title 7 of the WCC with the addition of the following new

Chapter 7.40 Private use of public right of way – Streets and Sidewalks:

7.40 Private use of public right of way – Streets and Sidewalks

7.40.010 Purpose and Intent

7.40.020 Definitions

7.40.030 Applicability

7.40.040 Private use of sidewalk allowed – permit exempt

- 7.40.050 Private use of streets and sidewalks prohibited without permit
- 7.40.060 Sidewalk café - permit required
- 7.40.070 Applications for sidewalk café permit
- 7.40.080 Conditions of sidewalk cafe permit
- 7.40.090 Streatery - permit required
- 7.40.100 Applications for streatery permit
- 7.40.110 Conditions of a streatery permit
- 7.40.120 Security device, insurance, and other requirements
- 7.40.130 Permit issuance fees for sidewalk café or streatery permit
- 7.40.140 Violations and penalties

7.40.010 Purpose and Intent

It is the intent of the City of Wenatchee to promote and improve the vitality of its downtown by encouraging pedestrian scale use of public sidewalks to support a high-quality public experience, ground floor retail business and upstairs residential use, all consistent with the City's Comprehensive Plan.

It is the policy of the City that sidewalks are primarily to provide safe and convenient pedestrian use by the general public. Limited secondary uses may be considered for sidewalk cafes, display of goods and storefront enhancements only to the extent that such uses promote and display Wenatchee business districts as pedestrian and people-oriented areas.

Furthermore, it is the policy of the City that the streets are primarily to provide safe and convenient motorist use by the general public in balance with the City's complete streets policy. Limited secondary uses of parking areas may be considered for parklets and streateries only to the extent that such uses promote and display Wenatchee's business districts as pedestrian and people-oriented areas, while maintaining City transportation, parking and circulation goals. Parklets and streateries provide an economical and creative solution to the desire for wider sidewalks necessary for increased outdoor business and activity. Development of these facilities are intended to be a cooperative effort between the downtown business owners, property owners, public and the City to achieve the objectives and intent set forth in this section.

7.40.020 Definitions

Parklet: A parklet is a public space that resembles a park typically with benches or seating areas and greenery such as flower baskets. Parklets include a creative design approach to add to the aesthetic. While parklets are often built to support local eateries, they may not be controlled by private businesses. Parklets are initiated and implemented by the City and required to be open to the public 24 hours per day, 7 days per week.

Streatery: A streatery is a facility that is used specifically to support an adjoining restaurant. A streatery can be controlled as an exclusive space for the restaurant during business hours. Streateries must remain open to the public after hours. Streateries are similar to sidewalk cafes except they occupy parking spaces instead of the sidewalk. Often streateries and sidewalk cafes are combined to create a larger outdoor dining space.

Sidewalk Café: Sidewalk cafes are areas of the sidewalk permitted under WCC 7.40.060. Sidewalk cafes are delineated areas that are under exclusive control of the operating business. Sidewalk cafes may provide for the serving of alcohol.

7.40.030 Applicability

The use of the sidewalk shall only be allowed where sidewalk exists and the sidewalk width is in excess of 10 feet for sidewalk cafes. Parklets and streateries are only allowed within the boundaries of the Central Business District; only two parklets or streateries may be permitted per block, and only one parklet or streatery may be permitted on each side of the street. Each parklet or streatery is limited to a maximum of 40 linear feet, requests for additional footage will be reviewed by the Public Works Director on a case by case basis.

The use of public streets and sidewalks for private uses is only permitted when the use is incidental to a legal permitted use (parklets are exempt from this requirement) and is limited to the frontage of property in which the subject use is occupied. Adjacent property owners may enter into an agreement for extension of a private use along their combined frontage. A streatery may be combined with a sidewalk café.

All private use of streets and sidewalks shall comply with all applicable federal, state, and City laws and regulations. Use of public space shall not be detrimental to the health, safety, or welfare of the public.

All private use of streets and sidewalks shall be subject to standards set forth by the Department of Public Works. Such standards may be amended as needed to ensure safe and orderly use of the public right of way. The Department of Public Works shall maintain current standards and keep them on file. Updates of the standards will be distributed to both permit holders and exempt users in coordination with the Wenatchee Downtown Association.

7.40.040 Private use of sidewalk allowed – permit exempt

Restaurants and retail establishments may use the public space along its building frontage to display goods and storefront enhancements. Restaurants and retail

establishments shall maintain a minimum five-foot wide unobstructed pedestrian corridor adjacent to the display area.

Restaurants and retail establishments may place chairs, tables, and flower pots on the sidewalk on a temporary basis providing a five-foot wide unobstructed pedestrian corridor is maintained with clear sight lines to allow safe pedestrian passage. Temporary basis shall mean non-permanent fixtures and is intended to be easily movable. Alcohol may not be served under this provision.

Tables and chairs placed in the sidewalk will be treated as public space amenity and be available to all public using the sidewalk. Restaurants seeking dedicated use of the sidewalk for tables and chairs for their customers will need to apply for a sidewalk café permit.

All items placed on the public space must be removed and stored inside the business at closing.

The outdoor space must be kept clean at all times.

7.40.050 Private use of streets and sidewalks prohibited without permit

It is unlawful for any person to either temporarily or permanently use or utilize any portion of a street right-of-way (whether or not improved and including sidewalk or walkway) for personal use, place of business or other private use, without first obtaining from the City a street use permit except as provided in Section 7.40.040 and further provided, that this section shall not be construed to prohibit the incorporation of the unused right-of-way portion of an improved street into the landscaping design of the abutting private property.

7.40.060 Sidewalk café - permit required

A sidewalk café permit allowing a portion of a public right-of-way to be used as a sidewalk café is required for any such private use of a public right-of-way. Such permit shall be valid from January 1st through December 31st of the year in which the permit may be issued. The Director of Public Works shall issue the permit for the use of a public right-of-way as a sidewalk café only if the criteria set forth in all subsections of WCC 7.40.070 are met.

7.40.070 Applications for sidewalk café permit

A complete application for a sidewalk café permit shall be submitted to the Department of Public Works for review and approval. Applications shall include the minimum following information:

- (a) A detailed site plan illustrating the sidewalk area and compliance with all standards set forth by the Department of Public Works and as described herein. Site plan shall include the following minimum information:
 - a. Existing features such as building façade, street trees, fire hydrants, planters, signs, awnings, etc.
 - b. Proposed features such as fencing, sidewalk demarcations, attachments to the sidewalk, locations of ingress/egress, planters, umbrellas, tables/chairs, serving equipment, etc.
- (b) Proof of a valid City of Wenatchee business license is required prior to permit issuance.
- (c) Proof of security, insurance, hold harmless agreement and other requirements according to WCC 7.40.090.
- (d) If applicable, a copy of a food handling permit from the Chelan Douglas Health District.
- (e) If applicable, a copy of the applicant's current liquor license.

7.40.080 Conditions of sidewalk cafe permit

A sidewalk café permit, when issued, shall be subject to the following conditions:

- (a) No alcoholic beverage may be served or consumed within the permit area, except under the following conditions:
 - (i) Any establishment seeking to extend outside liquor services shall comply with all applicable Washington Liquor and Cannabis Board regulations, including but not limited to WAC 314-02-130 and WAC 314-03-200.
 - (iii) All Liquor and Cannabis Board regulations, including regulations relating to "extended outside service areas" shall be adhered to;
 - (iv) A breach of any of the foregoing conditions shall be grounds for immediate suspension or termination of the permit pursuant to subsection (f) of this section;
- (b) The entire sidewalk, including both the permit area and the unobstructed pedestrian corridor, plus a distance of fifty feet either side thereof, shall be maintained in a clean and litter-free condition and shall be cleaned by the permittee not less often than once daily;

The minimum height for umbrellas and other shade devices shall be seven feet in order to provide unobstructed passage for pedestrians.

- (c) No food preparation shall take place within the permit area;
- (d) No food service or other activity shall be carried on by the permittee from or within the pedestrian corridor;
- (e) Trash receptacles and ash trays shall be cleaned and emptied as required, but not less often than once a day;
- (f) The City may, and reserves the right to, temporarily or permanently suspend a sidewalk café permit during the course of areawide special events or in the interest of the public health, safety and welfare.
- (g) The Director of Public Works shall have the authority to approve administrative regulations and design guidelines that supplement the regulations and standards set forth in this section. Any supplementation of these regulations shall be based on the City's observations and experience with respect to implementation of this section. The City shall promptly notify affected establishments of any supplementation of the regulations in this section.

7.40.090 Streatery - permit required

A streatery permit allowing a portion of a public right-of-way to be used as a streatery is required for any such private use of a public right-of-way. Such permit shall be valid from January 1st through December 31st of the year in which the permit may be issued. The Director of Public Works shall issue the permit for the use of a public right-of-way as a streatery only if the criteria set forth in all subsections of WCC [7.40.100](#) are met.

7.40.100 Applications for streatery permit

A complete application for a streatery permit shall be submitted to the Department of Community Development for review and approval. Applications shall include the following two-step review process. The process is intended to obtain concept approval and clear requirements associated with parking changes and Health District and Liquor and Cannabis Board requirements (if applicable) first, prior to private investment into the final design of the streatery and prior to presenting to the Planning Commission. The following steps provide an outline to the process. Deviation from the process may be permitted with approval from the Community Development Director as long as the intent is met.

Step 1 (Pre- Application Process):

- (a) Develop a preliminary site plan sketch and use description for the streatory taking into account design guidelines.
- (b) The applicant shall confer with the Wenatchee Downtown Association and neighboring property owners and businesses.
- (c) Schedule and attend a pre-application conference with City staff.
- (d) Refine preliminary site plan and obtain Liquor and Cannabis Board and Health District approval if applicable.

Step 2 (Formal Application Process):

- (a) The application shall include:
 - a. Letter of support from the Wenatchee Downtown Association;
 - b. Proof of Liquor Control Board and Health District approval if applicable;
 - c. A detailed site plan of the final design of the streatory detailing the location of existing street features such as fire hydrants, sidewalk width, trees, catch basins, street lights, etc.;
 - d. An operational plan illustrating ADA compliant ingress and egress along with safety features to protect users and the structure.
 - e. Structural plan if applicable;
 - f. Aesthetics plan (visuals) and sample materials if necessary to illustrate the proposed look and feel intended;
 - g. Proof of insurance;
 - h. Hold harmless agreement;
 - i. Security device; and
 - j. Proof of City business license.

- (b) Once the application is deemed complete and city staff comments have been addressed, the applicant will present the design and aesthetic information to the Planning Commission for design review. The Applicant shall provide an overview of the project at a public planning commission meeting. The City will provide notice to property owners within 300 feet of the proposed streatory location. The Wenatchee Planning Commission shall make a recommendation to the Community Development Director concerning the aesthetics of the streatory. The form of the recommendation will be in the form of either approval, denial, or modification of aesthetics.

- (c) The Community Development Director shall make the final approval determination in consultation with the Mayor, Public Works Director, Police Chief, and Parks and Recreation Director. Given this application approval concerns private use of public space, the decision is final and not subject to appeal.
- (d) Upon approval of the application, a right of way permit shall be issued to construct the streatory. Upon completion, approval by the Health District and Liquor and Cannabis Board (if applicable) and inspection by the City, a revocable streatory permit shall be issued by the Department of Public Works.

7.40.110 Conditions of a streatory permit

A streatory permit, when issued, shall be subject to the following conditions:

- (a) No alcoholic beverage may be served or consumed within the permit area, except under the following conditions for streateries:
 - (i) Any establishment seeking to extend outside liquor service shall comply with all applicable Washington Liquor and Cannabis Board regulations, including but not limited to WAC 314-02-130 and WAC 314-03-200.
 - (ii) All Liquor Control Board regulations, including regulations relating to “extended outside service areas” shall be adhered to;
 - (iii) A breach of any of the foregoing conditions shall be grounds for immediate suspension or termination of the permit pursuant to subsection (i) of this section;
- (b) The minimum height for umbrellas and other shade devices shall be seven feet in order to provide unobstructed passage for pedestrians.
- (c) No food preparation shall take place within the permit area;
- (d) No product displays shall be placed within the permit area;
- (e) No off-premises advertising signs or displays are permitted within the permit area;
- (f) Trash receptacles and ash trays shall be cleaned and emptied as required, but not less often than once a day;
- (g) Signing for the streatory providing notice of the availability of public use shall be installed per design guidelines established by the Department of Public Works.

(h) Streateries may be required to be removed during the winter to allow for snow plowing.

(i) The City may, and reserves the right to, temporarily or permanently suspend a streatery permit during the course of areawide special events or in the interest of the public health, safety and welfare.

(j) The Director of Community Development shall have the authority to approve administrative regulations and design guidelines that supplement the regulations and standards set forth in this section. Any supplementation of these regulations shall be based on the City's observations and experience with respect to implementation of this section. The City shall promptly notify affected establishments of any supplementation of the regulations in this section.

7.40.120 Security device, insurance, and other requirements

As part of a valid sidewalk café or streatery permit and prior to issuance, the applicant shall file with the City and maintain throughout the duration of the permit the following:

(a) An agreement, approved by the City, wherein the applicant agrees to defend, save, and hold harmless the City of Wenatchee;

(b) The permittee shall obtain, at its sole expense, comprehensive liability insurance, with limits of not less than five hundred thousand dollars per occurrence, and shall provide the city with satisfactory proof of continued insurance coverage during the life of the permit. Such insurance shall include the City of Wenatchee as an additional named insured;

(c) If permittee intends to permanently secure something to City right of way, the permittee shall file with the City, on a form approved by the City Attorney, a security device. Such device shall be in the amount of one thousand dollars and conditioned upon the permittee's faithful performance of all conditions and requirements of the permit. An appropriate security device can be a cash deposit, assignment of an account, a surety bond, or similar device.

7.40.130 Permit issuance fees for sidewalk café or streatery permit

Upon approval and prior to issuance of a sidewalk café or streatery permit, the applicant shall pay a one-time fee in accordance with Chapter 1.99 WCC. There shall be no fee for annual renewals of the permit providing the use is in accordance with prior permit approvals.

Any change to the use requiring City review shall constitute a new application and is subject to a new one-time fee. Change of ownership of the permit shall constitute

a new application and is subject to a new one-time fee in accordance with Chapter 1.99 WCC.

7.40.140 Violations and penalties

Enforcement of this chapter shall be in accordance with Title 16 WCC. The Director of Public Works or Community Development shall have the authority to immediately revoke or suspend permits in accordance with Chapter 16.12 WCC in the case of the need to address public safety. Both permitted and non-permitted use of the public space shall be subject to all remedies provided for under Title 16 WCC.

SECTION II

Chapter 1.99 WCC shall be and hereby is amended by adding the following application fees:

Sidewalk Cafe permit - \$150.00

Streatery permit - \$250.00

SECTION III SEVERABILITY

If any section, sentence, clause or phrase of this Ordinance should be held to be invalid or unconstitutional by a court of competent jurisdiction, such invalidity or unconstitutionality shall have no effect on any other section, sentence, clause or phrase of this Ordinance.

SECTION IV EFFECTIVE DATE

This Ordinance shall be in full force and effect thirty (30) days following publication of a summary hereof consisting of the title.

PASSED BY THE CITY COUNCIL OF THE CITY OF
WENATCHEE at a regular meeting thereof, this 3rd day of December, 2020.


CITY OF WENATCHEE, a municipal
Corporation

By: 
FRANK KUNTZ, Mayor

ATTEST:

By: 
TAMMY STANGER, City Clerk

APPROVED:

By: 
STEVE D. SMITH, City Attorney

General Requirements

1. Wheel stops shall be installed one foot from the curbline at the edge of the parking spaces in front of and behind the parklet/streatery.
2. Safety elements (Safet-Hit® Durapost) are required at the outside corners of the parklet/streatery.
3. Maintain curbline drainage. Parklet/streateries shall not block storm water drainage, fire hydrants, transit stops, driveways, manholes, or public utility valves/covers.
4. The parklet/streatery shall be flush with the curb (no more than 1/2" gap), level with the adjacent sidewalk, and must be accessible at several locations by pedestrians.
5. Buffer zone - the parklet/streatery shall be located at least four feet from the wheel stops.
6. The outside edge and railings must not create a visual buffer.
7. There must be one foot setback from the edge of an adjacent bike lane or vehicle travel lane and shall have an edge to buffer the street. This edge can take the form of planters, railing, cabling, or some other appropriate buffer. The height and scale of the buffer required will vary depending on the context of the site.
8. The parklet/streatery frame should be a freestanding structural foundation that rests on the street surface or curb. No features or structural components may be permanently attached to the street, curb, or adjacent planting strip.
9. Parklets/streateries must be designed for ADA compliance and shall be easily removable if/when necessary.
10. Parklets/streateries shall only be installed on streets with a grade no greater than 5 percent.
11. In general, parklets/streateries should be placed at least one parking space from corners. The presence of a bulb-out, an on-street bicycle corral, or some other physical barrier may allow the City to allow placement closer than that.
12. Parklets/streateries shall be placed no closer than 15 feet from catch basins or fire hydrants.
13. In no case shall any portion of the parklet/streatery, or any furniture placed upon it, obstruct the view of a traffic control device.

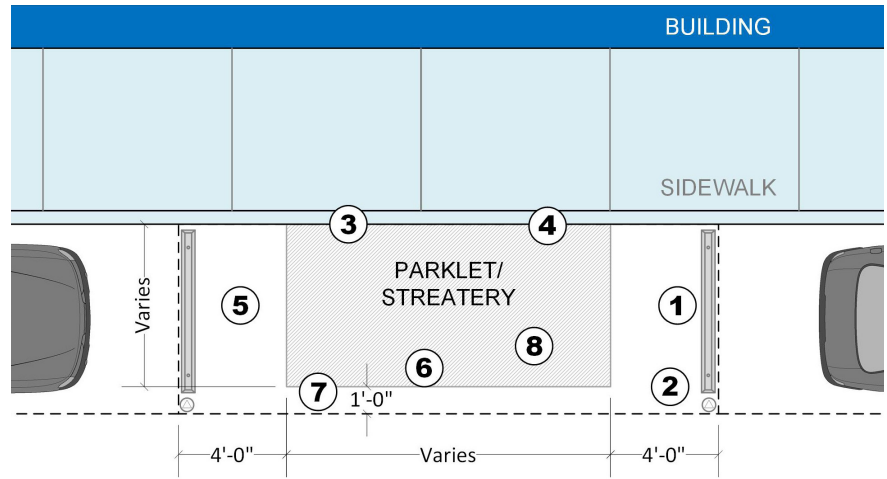
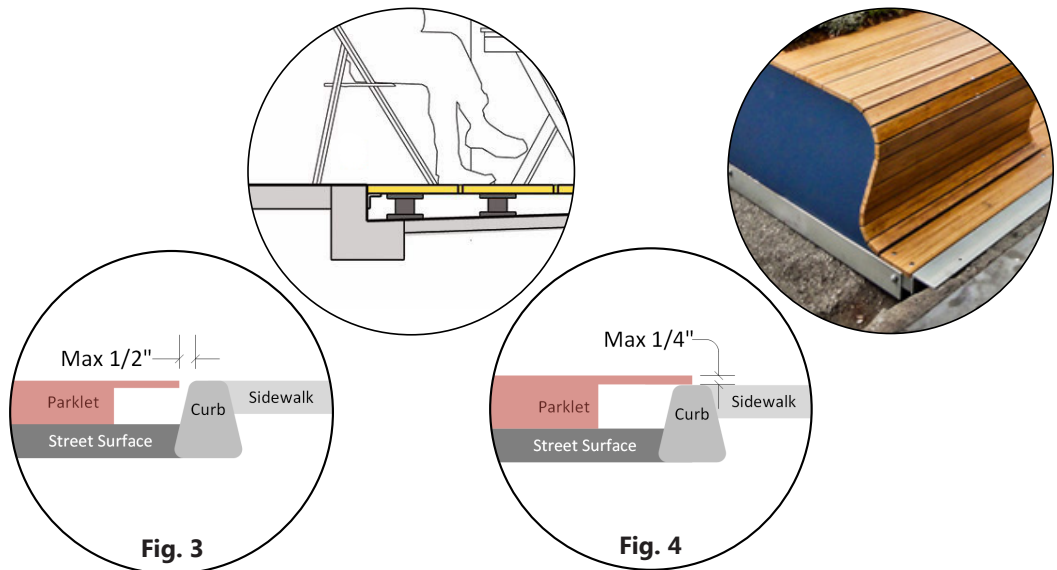


Fig. 1 - SINGLE SPACE PARKLET/STREATERY FEATURES AND DIMENSIONS

Curb Interface

- Parklet/streatery design shall allow for stormwater flow and drainage along the curb.
- The maximum horizontal gap between the curb and the parklet surface shall be 1/2 inch.
- The maximum vertical gap shall be 1/4 inch.
- The parklet/streatery must have a seamless connection to the existing curb to meet ADA requirements.





Required Safety Elements

- Safety is foremost in the City's consideration. As such, all parklets and streateries must be designed so as to maintain clear sight lines both on the street and on sidewalks.
- Wheel stops must be installed at both ends of the parklet/streatery four feet from the parklet/streatery structure and one foot from the curb.
- Wheel stops shall be no less than four feet long and no greater than six feet long, mounted with three butyl pads, preferably made of recycled rubber.
- Reflective delineator posts must be placed at the outer corners of the parking space/loading zone six inches from the wheel stops.
- Delineator posts must be 36 inches tall, cylindrical, white Safe-Hit® Duraposts and must include reflective striping. Posts should follow the City of Spokane standard and be attached to the street with a butyl adhesive pad.



Sight Line Elements and Requirements

- The parklet/streatery design must ensure visibility to passing traffic and pedestrians and not create a visual barrier.
- The parklet/streatery shall maintain a visual connection to the street. Continuous opaque walls above 42" that block views into the parklet from the surrounding streetscape are prohibited. You are allowed to include columns and other vertical elements.
- A minimum overhead clearance of 96" must be provided for any parklet/streatery that includes a canopy (or similar element) in order to avoid creating a visual barrier and to provide adequate clearance for people.
- The parklet should have a notable, defined edge along the side of the parklet facing the roadway and adjacent parking stalls to protect parklet users from moving traffic. This can be accomplished via a continuous railing, planter, fence, or similar structure.
- The height of the outside wall is dependent on the context, but should be between 30 inches minimum on the street side to a maximum of 42 inches.
- A minimum 1-foot buffer should be maintained between the parklet features and the travel lane to increase safety adjacent to moving traffic.

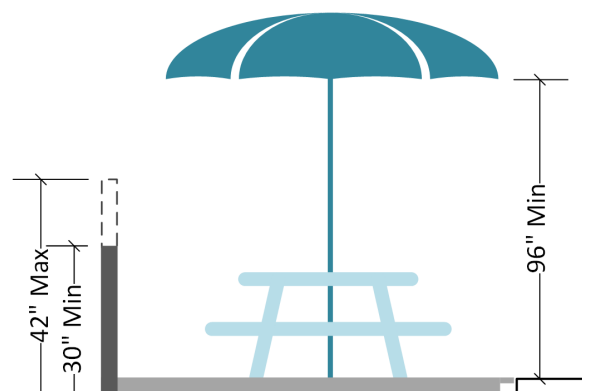


Fig. 5 - SIGHT LINE HEIGHT STANDARDS

Parklet and Streatery Design Standards

DRAFT Edition

Parklets and Streateries in Loading Zones

If you are considering putting a parklet or streatery in a loading zone or other specialty designated space, the City recommends you first look for a nearby location to move that zone and then notify other businesses on the block of your desire to do so. Consideration will be given to removing the special zone with written acknowledgment from your block's other property managers, owners, street-level businesses, and/or residential property associations.



PARKLET/STREATERY AMENITIES

Seating

All parklets/streateries must incorporate built-in seating, which can be integrated in a variety of creative ways. These seats can be a part of the structure, planters, or creative features within the parklet/streatery. Comfortable places to sit are important to creating welcoming and inviting public spaces.

Additional movable seating is recommended as well. This seating can be removed and stored at the end of the day or locked with cables to the parklet structure.

Furnishings should be distinct from any furnishings used by the hosting business or organization. If the parklet host is a business with a sidewalk café, the tables and chairs must be a different style from the ones used in the café. It is important to remember that the parklet is a public amenity, and as such, should be easily distinguishable from nearby private property. Streateries are exempt from this requirement.

Landscaping

Your parklet/streatery must have some type of landscaping. Landscape plantings help soften the space and can serve as a pleasant buffer along the street-facing edge. Landscape elements may be incorporated as planter boxes, hanging planters, green walls, raised beds, or similar features. Drought-tolerant and native plants are good choices for ease of maintenance. Edible plants and plants with fragrance, texture, and seasonal interest are also recommended.

Signs

All parklets/streateries must feature City of Spokane provided signs indicating the space is public. In the case of Streateries, the sign must explain the hours when the Streatery is for the use of the adjacent business and when its available to the general public. These signs should be mounted to both ends of the parklet and should be visible from the adjacent sidewalk. Signs acknowledging sponsorship, logos, or designs that "brand" the parklet must comply with the City of Spokane sign code (SMC 17C.240).

Heating and Gas Power

Outdoor heaters and elements that use gas or propane fuel can help to make your parklet more comfortable throughout the year. Heating and gas-powered features are allowed in parklets/streateries but will require an additional permit.

Lighting

Lighting is allowed but may require a permit, depending on what you propose. Self-contained low-voltage systems, such as solar or battery-powered lights, are a good choice. Decorative or seasonal lighting may be allowed in street trees near the parklet, but requires an Urban Forestry Permit.



Plan Submittal - Required Elements

Plans should include sufficient detail as to allow for adequate review. The following items must be shown on the plans you submit with your permit application:

- Location on the street;
- Street and sidewalk utilities (i.e. manholes, water valves, etc.);
- Street poles and signs;
- Parking meters (including any required to be removed);
- Fire hydrants and Fire Department connections on adjacent buildings;
- Street furniture (litter cans, benches, etc.);
- Street trees, including tree surrounds;
- Sidewalk and street grade elevations;
- Bike lanes (if any);
- Parklet/streatery dimensions;
- Parklet/streatery materials and details as necessary;
- Parklet/streatery planting plan;
- Flexible delineator posts and wheel stops; and,
- Materials, design elements, or other proposed features.

Signage

All parklets must feature signs indicating the space is public. All streateries must feature signs that indicate hours of service and that the streatery is open to the public at all other times. These signs should be mounted to both ends of the parklet or streatery and should be visible from the adjacent sidewalk. Signs acknowledging sponsorship, logos, or designs that “brand” the parklet or streatery must comply with the City of Spokane sign code (SMC 17C.240).



For more information, contact City of Spokane Planning and Development Services at:

3rd Floor City Hall
808 W Spokane Falls Blvd
Spokane, WA 99201

bdsinfo@spokanecity.org

Planning & Development

509.625.6300



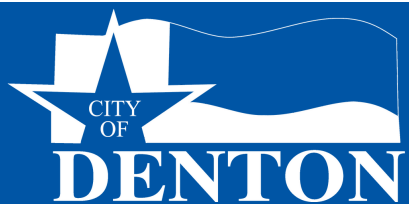
**PARKLET &
STREETARY
MANUAL**



June 26, 2020

City of Denton

Development Services Department



GENERAL CRITERIA

Parklet/Streatery design and location should conform to the following design guidelines, as well as any additional standards made part of the approval of an individual parklet. Additional requirements and further details can be found in Ordinance

Definition

Parklet is essentially a temporary constructed public space/park installed in a parking spot or loading zone. Parklets are free for the use of everyone – visitors, residents, and businesses alike.

Streatery is much like a parklet, but it is reserved for the use of the adjacent restaurant during their business hours – just like a sidewalk café but not on the sidewalk. When the business who maintains the streatery is closed, it works just like a parklet - free for everyone to use

Location

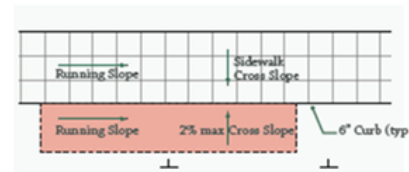
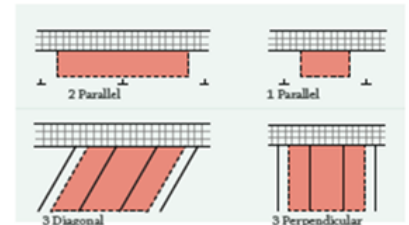
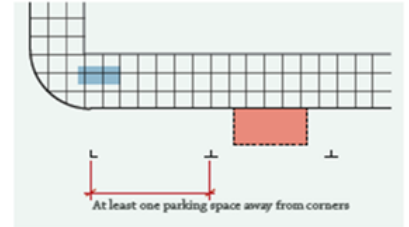
Parklets are allowed in parallel or angled parking spaces or within unused right-of-way. There shall be no more than 2 parallel spots or 3 diagonal/perpendicular spots. Each parklet shall be limited to utilizing no more than two parking spaces. Excluding: Oak , Hickory, Elm and Locust Street

Corner Location

In general, parklets must be located at least one parking space away from an intersection or street corner. Parklets close to corners can be more exposed to the risk of a collision by motorized vehicle. In some instances, a bike corral at least 15 feet in length, a curb-extension (bulb-out), or some other physical barrier.

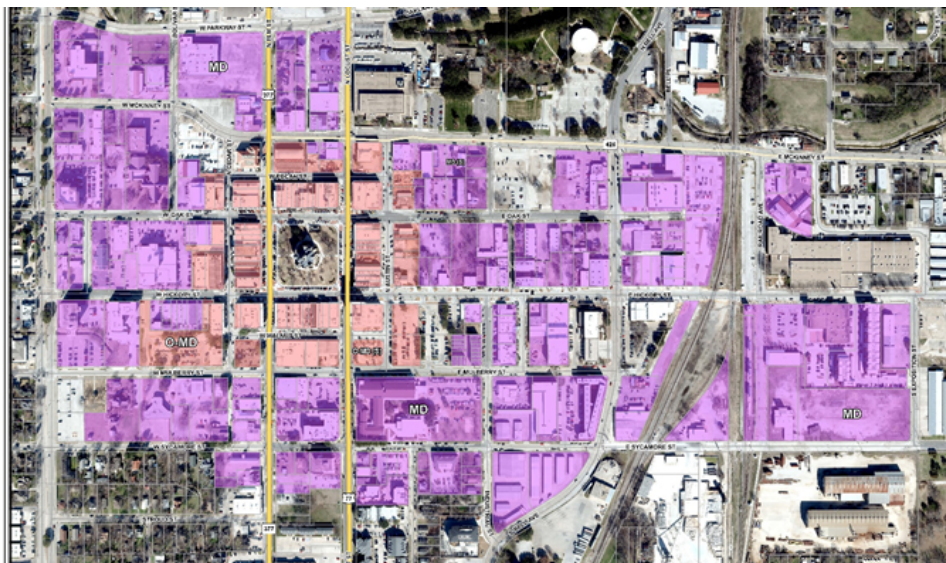
Speed Limit


Parklets are permitted where the posted speed limit is 30 mph or less. Streets with higher speed limits may be considered on a case-by-case basis.



Street Slope

Parklets must be situated on streets with a running slope (grade) of five percent or less or provide a level surface to meet this grade.



 MD - Mixed-Use Downtown Core
 MD with OVERLAY

Buffers & Safety Elements

Parklets shall be required to have a buffer to protect users from street traffic. Buffers can be either planters, durable seating, temporary railing/edging, or other visible, protective edging as approved by staff in the application process. Parklets must be situated a minimum of 2 feet from the nearest edge of traveled way. Planters used as edging features are required to be large and durable. All edging and buffering mechanisms will require City approval.

Wheel Stops

Parklets shall not be allowed in front of a fire hydrant, or over a manhole, public utility valve, or cover. Curb and roadside drainage shall not be impeded by the parklet. If decking is being constructed, the decking should allow for easy access underneath and curbside drainage shall not be impeded. A gap of 6" should be maintained between the body of the deck and the asphalt to facilitate the movement of water.

Utilities

For parklets in parallel parking spaces, a three-foot wheel stop must be installed one foot from the curb at the edge of the front and back parking spaces. When parklets are installed adjacent to parallel parking spaces, wheel stops should be setback four feet from the parklet structure.

For angled parking spaces and adjacent to driveways, City staff will work with you to determine the appropriate location for wheel stops. Wheel stops should be made of recycled rubber; concrete wheel stops are discouraged.

Trash

The permit holder is required to provide trash receptacles sufficient for the proposed use and is subject to the following requirements: Food service establishments must provide receptacles which shall be no smaller than 10 gallons.

Retail or other non-food service establishments must provide receptacles, however a minimum size is not required.

Receptacles must be emptied by the permit holder at any time they are visibly full.

All waste and recycling generated within the parklet is the responsibility of the permit holder. This includes items that are blown from the parklet. Bin covers are required.



ADA Requirements

All elements of Parklets shall be constructed and/or installed to conform to the applicable provisions, rules, regulations, and guidelines of the Americans with Disabilities Act (ADA).

Design for Easy Removal

Parklets are temporary in nature and must be designed for easy removal. All removable furniture must be locked or stowed each night.

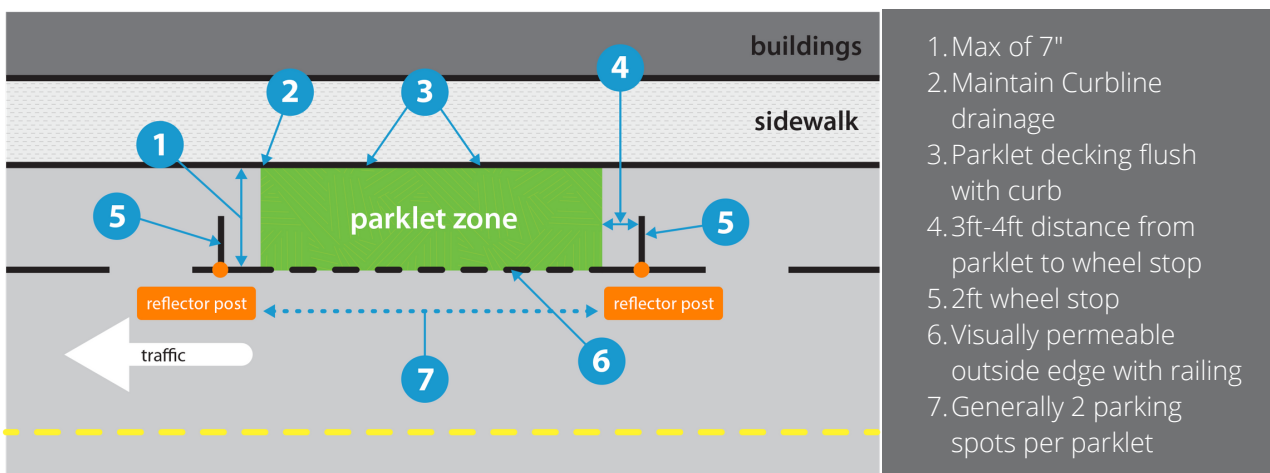
Parklet Decking

Parklet decking must be flush with the curb and may not have more than 1/2" gap from the curb. If decking is installed, a minimum 36" ADA accessible entryway to the parklet must be maintained for all parklets. Platforms shall not exceed a 2% cross slope. Decking will need to be constructed of durable material capable of withstanding weather elements. Deck installation shall not damage the sidewalk, street, curb, or any aspect of the public right-of-way. Due to the temporary nature of the parklet, any proposed decking shall not be allowed to be bolted into the asphalt.

Sight Triangle

Parklets must not interfere with sight triangles. A sight triangle is a triangular shaped portion of land established for unobstructed visibility of motorists entering or leaving a street or driveway intersection in which nothing, whether stationary or moveable (i.e., vehicles, vehicular maneuvering area, signs, landscaping or objects of any kind) is permitted to be located between a height of two and one-half (2½) and eight (8) feet above the elevation of the adjoining edge of pavement. An exception to the prohibition is a tree with clear trunk between two and one-half (2½) and eight (8) feet.

Design and Placement Guidelines



THE PLATFORM

The platform provides the structural base for the parklet. The City strongly recommends consulting a design or construction professional to ensure that the platform will be sturdy and safe.

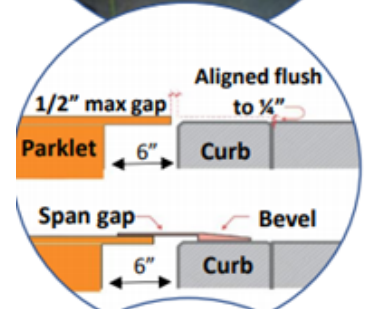
Bolting

Bolting into the street or penetrating the surface of the road in any way is strongly discouraged and may not be allowed without a restoration plan and an excavation bond posted by the applicant and their contractor. Parklets may be bolted to the existing curb, with specific restoration requirements.



Platform Surface

The top of the parklet platform must be flush with the sidewalk with a maximum gap of one-half inch. In the case of a sloping street, staff will work with the designer to address issues of access.

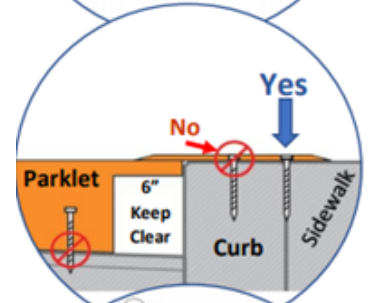


Access

If the platform base is not solid, the space underneath the platform surface must be accessible for maintenance through removable access panels.

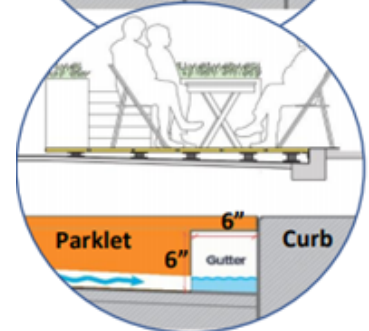
Drainage

The parklet cannot impede the flow of curbside drainage. Designers are strongly encouraged to cover openings at either end of the parklet with screens to prevent blockage from debris.



Platform Cross Slope

Parklet platform rest areas cannot exceed two percent cross slopes. Your final construction drawings will need to show spot elevations for both the sidewalk and the platform areas



REQUIRED MATERIALS



No Parking Sign

Clear the area for installation by placing temporary no parking signs in the parking spaces that your parklet will occupy a minimum 72 hours before installation. The City will provide signage at permit approval.



Soft-Hit Posts

Purchase two standardized safe-hit posts, one for each end of the parklet. You may purchase the posts from any vendor, but they must meet these specifications:

- o Safe Hit Type 2 Guide Post 36", white.
- o Surface Mount Pin Lock Base.
- o Butyl Adhesive Pad or 10 oz. Epoxy Kit.

Lighting

Self-contained low-voltage lighting systems, such as solar or battery powered lights are encouraged. Flashing lights and cords that extend over the sidewalk (even if they're located overhead) are prohibited.

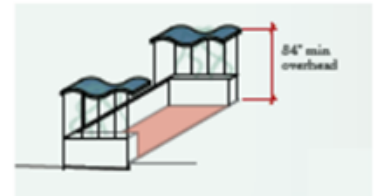
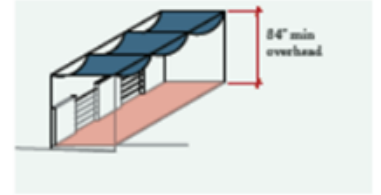
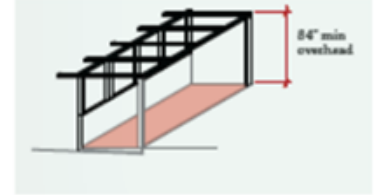
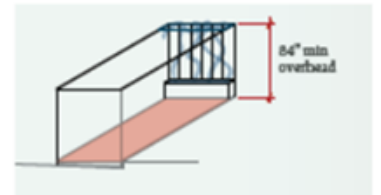
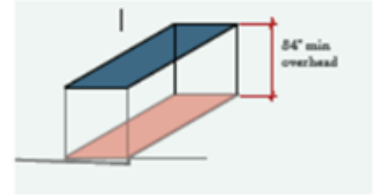
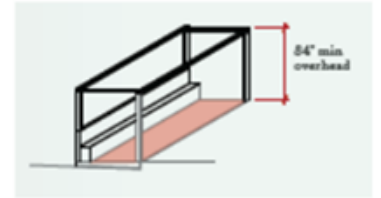
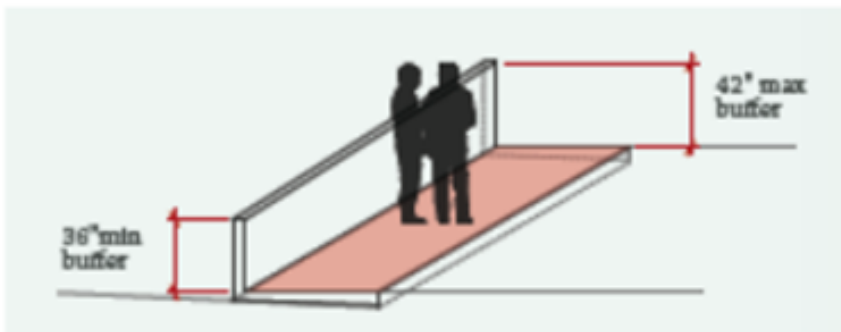


THE ENCLOSURE

Buffer the Edges

Depending on the location, the parklet should have an edge to buffer the street. This can take the form of planters, railing, cabling, or some other appropriate buffer. The height and scale of the buffer required will vary depending on local context.

For example, on some low-traffic streets, a continuous edge may not be required. (If cable railing is used, spacing between cables cannot exceed six inches).



Maintain a Visual Connection to the Street

Your parklet design should maintain a visual connection to the street. Continuous opaque walls above forty-two inches that block views into the parklet from the surrounding streetscape are prohibited. You are allowed to include columns and other vertical elements

Signage

Applicant shall provide signage consistent with the following examples. Final location and size of sign to be approved with the permit.





DRAFT

Streateries Guidelines and Manual

NORFOLK, VIRGINIA

2

Design
Requirements

THE CITY OF
NORFOLK

DECEMBER 4, 2020

The Streateries Guidelines and Manual were developed by the City of Norfolk City Planning Department and the Right of Way Administrator with assistance from the Downtown Norfolk Council.

Prepared for the City of Norfolk by Work Program Architects.



Table of Contents

- CONSTRUCTION REQUIREMENTS 4
- DESIGN AND MATERIAL REQUIREMENTS 9
- STREATERY EXAMPLES 19
- OFF-THE-SHELF STREATERIES 24

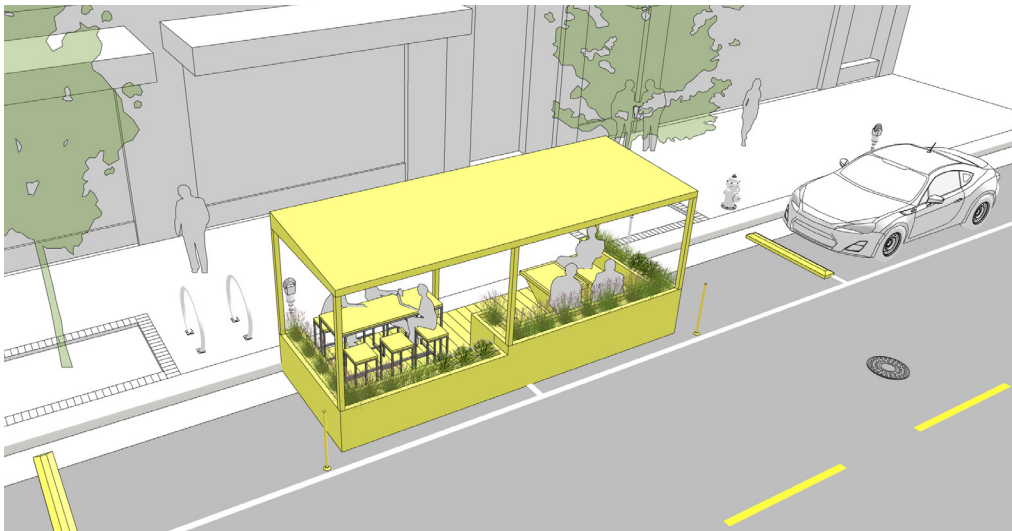




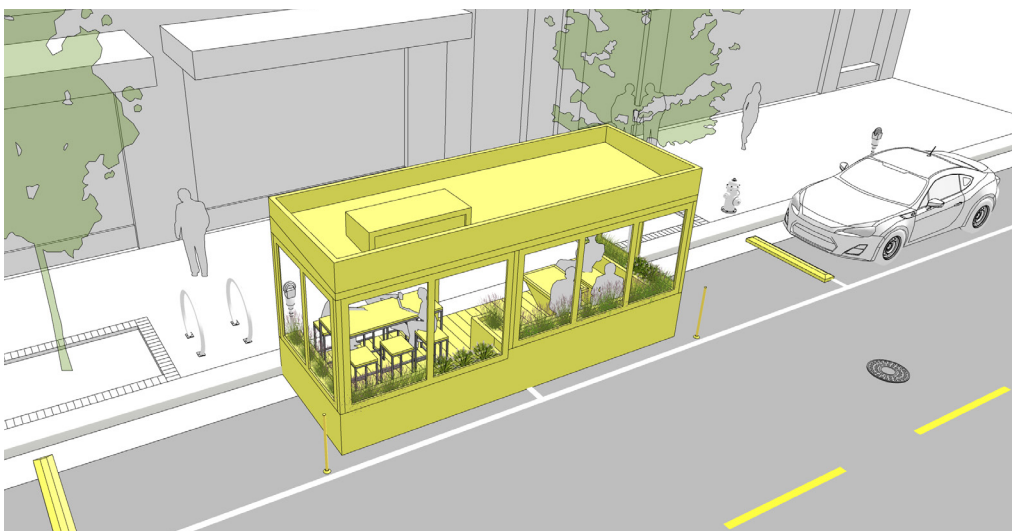
What is a streatery?

The following examples are provided to illustrate the general streatery concept that is described throughout these guidelines.

At its simplest, the streatery is a platform with 3 low sides. Umbrellas can be provided for shade and to keep light rain off of diners. Portable radiant heaters can help keep people comfortable in mild weather.

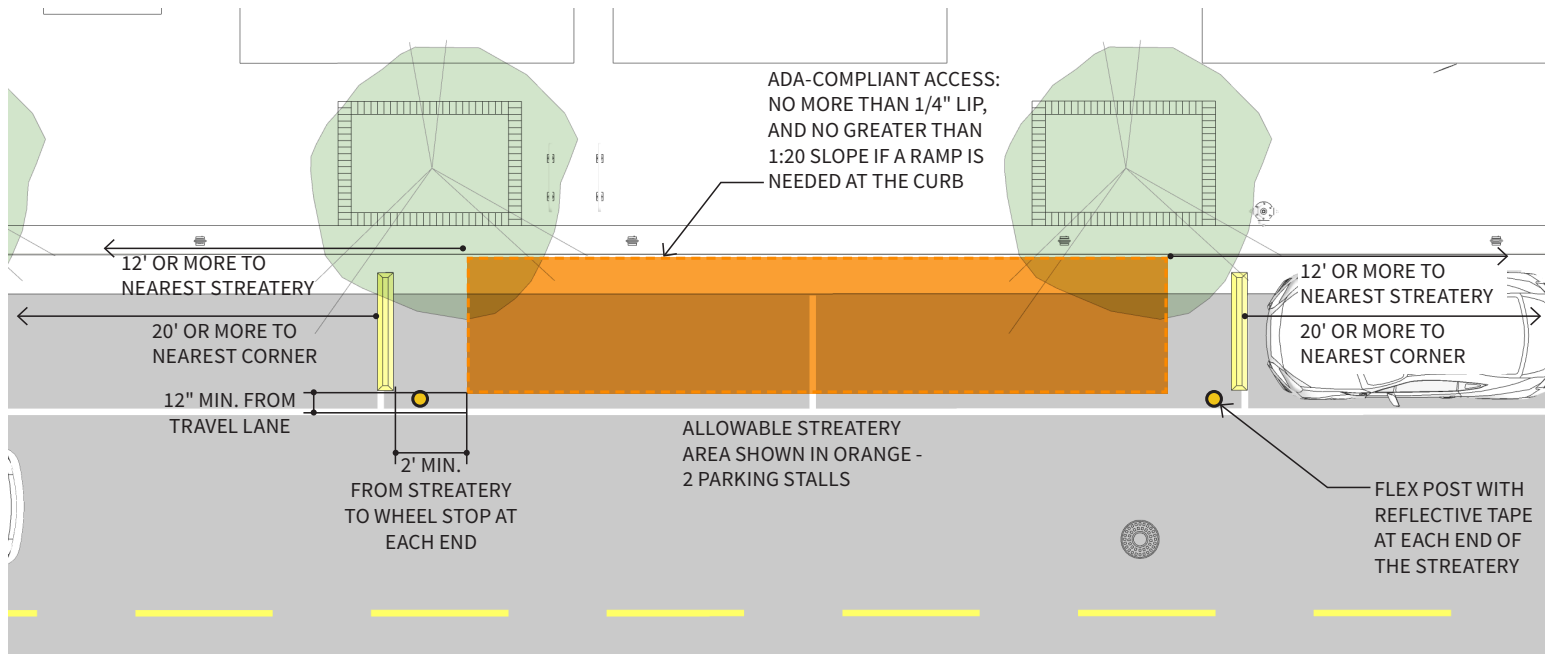


A roof can be added to keep heavier rains out and provide shade over more of the streatery. Ceiling mounted radiant heaters can keep diners warm through the winter with the addition of transparent curtains which can be drawn over the sides to keep wind out and help prevent heat from escaping the streatery. These additions make the streatery a year round option for dining.



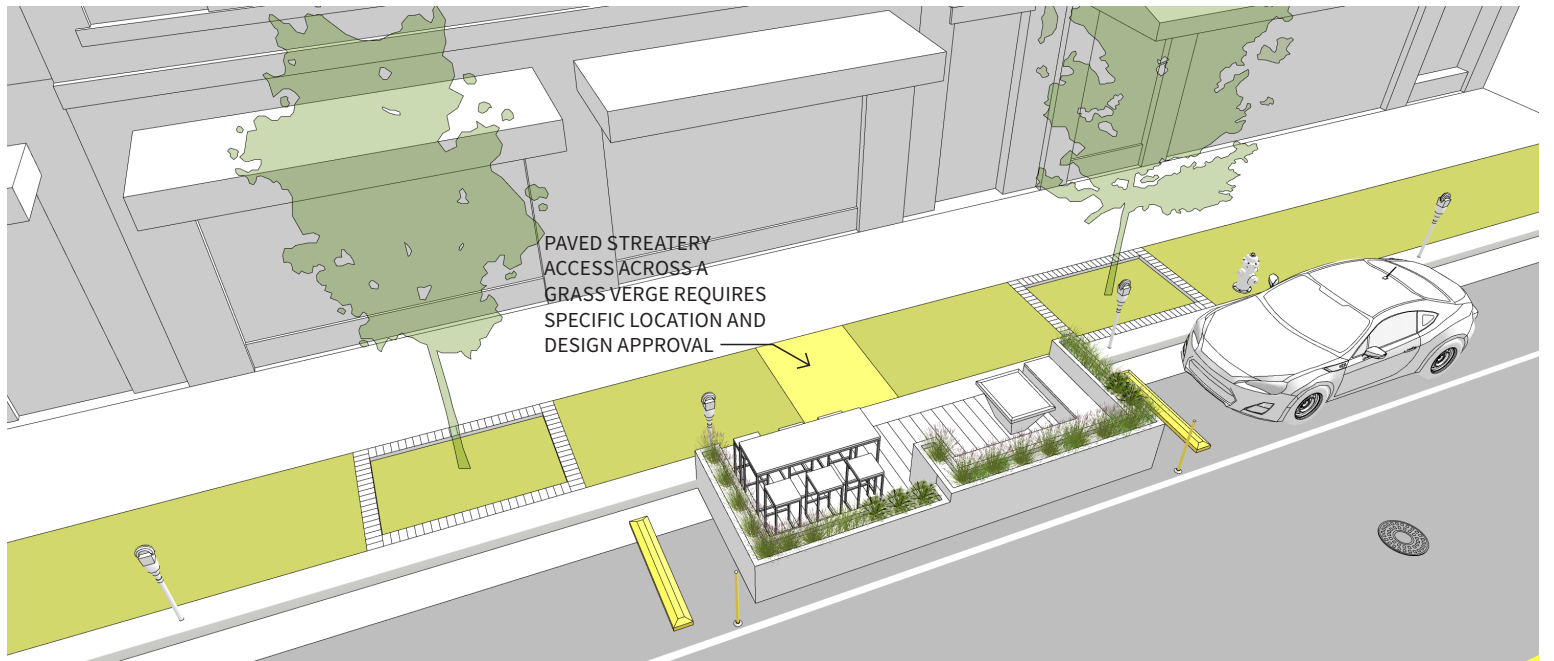
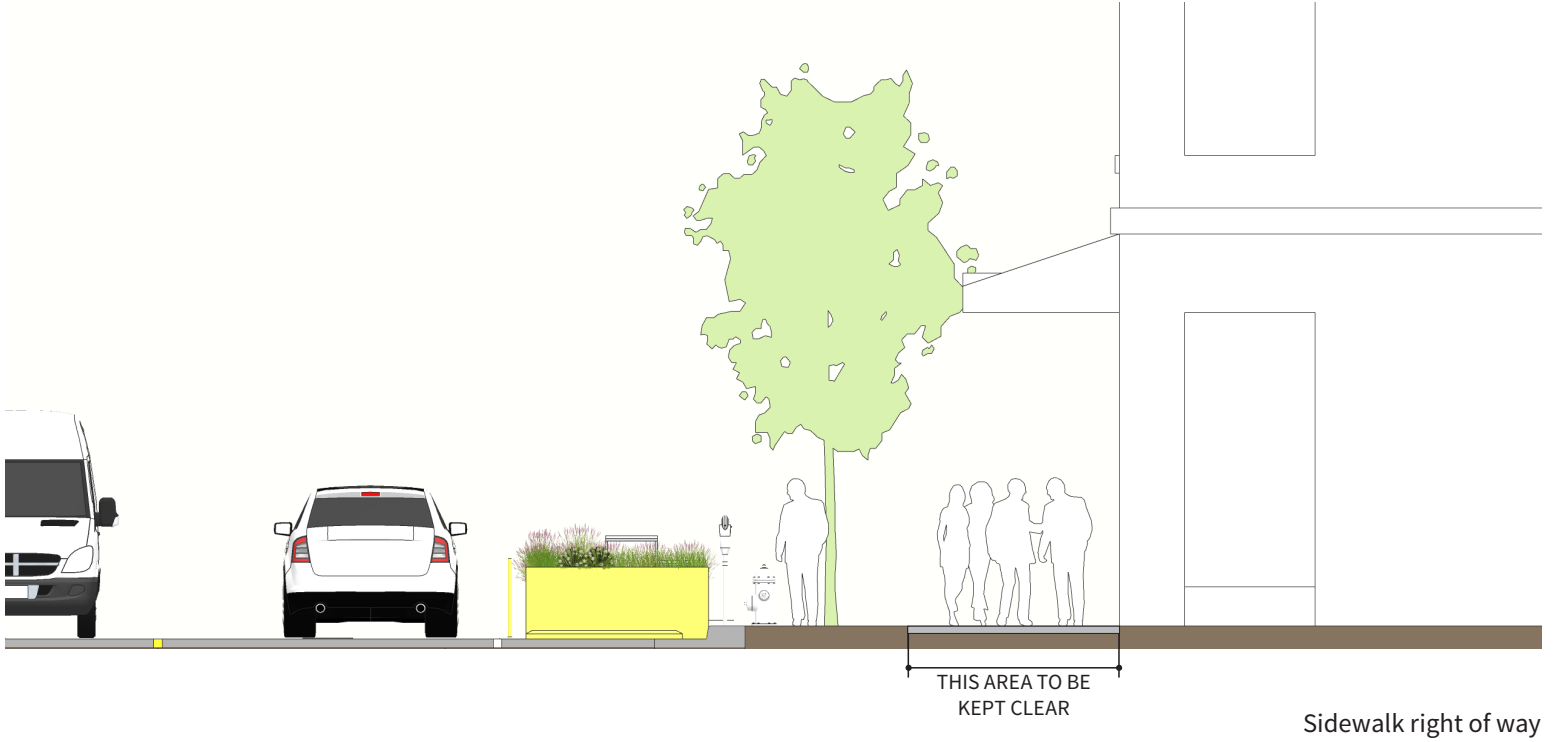
Glazed windows and a small HVAC unit can be added to make the streatery as comfortable as the interior of a restaurant. Windows should still be operable so that the HVAC unit only needs to be operated when the outdoor temperature is too far outside the comfort zone for diners.

Construction Requirements



Design and placement guidelines

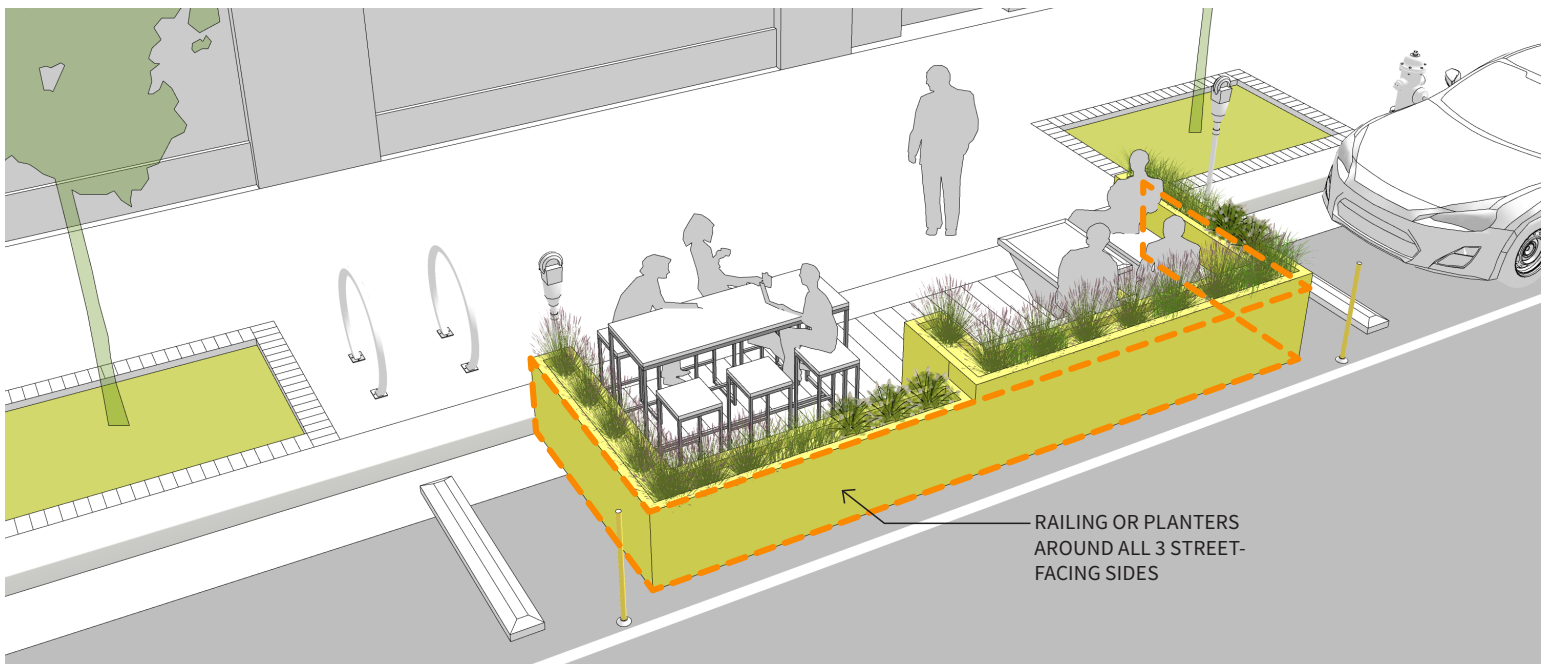
- Streateries may only be constructed by applicants with a currently operational restaurant in reasonable proximity to the location being requested. The streatery must be located within a distance of the established restaurant to satisfy ABC and Health Department requirements and not block access to any other establishments.
 - Streateries in which alcohol is served from a licensed facility must have no more than 100' separating the primary entrance of the licensed establishment and the streatery entrance.
- Streateries must be designed for at least one (1) parking space but may be designed for two (2) or more spaces in certain areas of the city. Proposed locations will be evaluated on a case by case basis.
- A streatery may only be built on a street with a posted speed limit of twenty-five (25) miles per hour or less.
- The proposed site must be at least one parking space or twenty (20) feet from an intersection or corner or at a distance required by the Right of Way Administrator.
- Streateries constructed by different operators must maintain twelve (12) feet of clearance between them for fire access
- Recommended locations include those that have high visibility from adjacent businesses and existing pedestrian activities such as dining and retail as well as areas of minimal vehicle congestion to minimize exposure to exhaust fumes.
- Streateries must be able to be removed in one day. Those streateries along special event routes may have to be disassembled to accommodate the special events. The City will notify the operator in advance. A kit of parts that can be easily assembled and removed or a design that permits the entire streatery to be removed as a single structure is recommended for this reason.
- Sidewalk right of way should be maintained between face of building and streatery entrance.
- The addition of sidewalk or other similar surface across a landscaped verge to provide access to a streatery requires specific location and design approval during the review process.
- Design will reflect the cultural/aesthetic values of the neighborhood and community the streatery affects.



Paved access across an existing grass verge

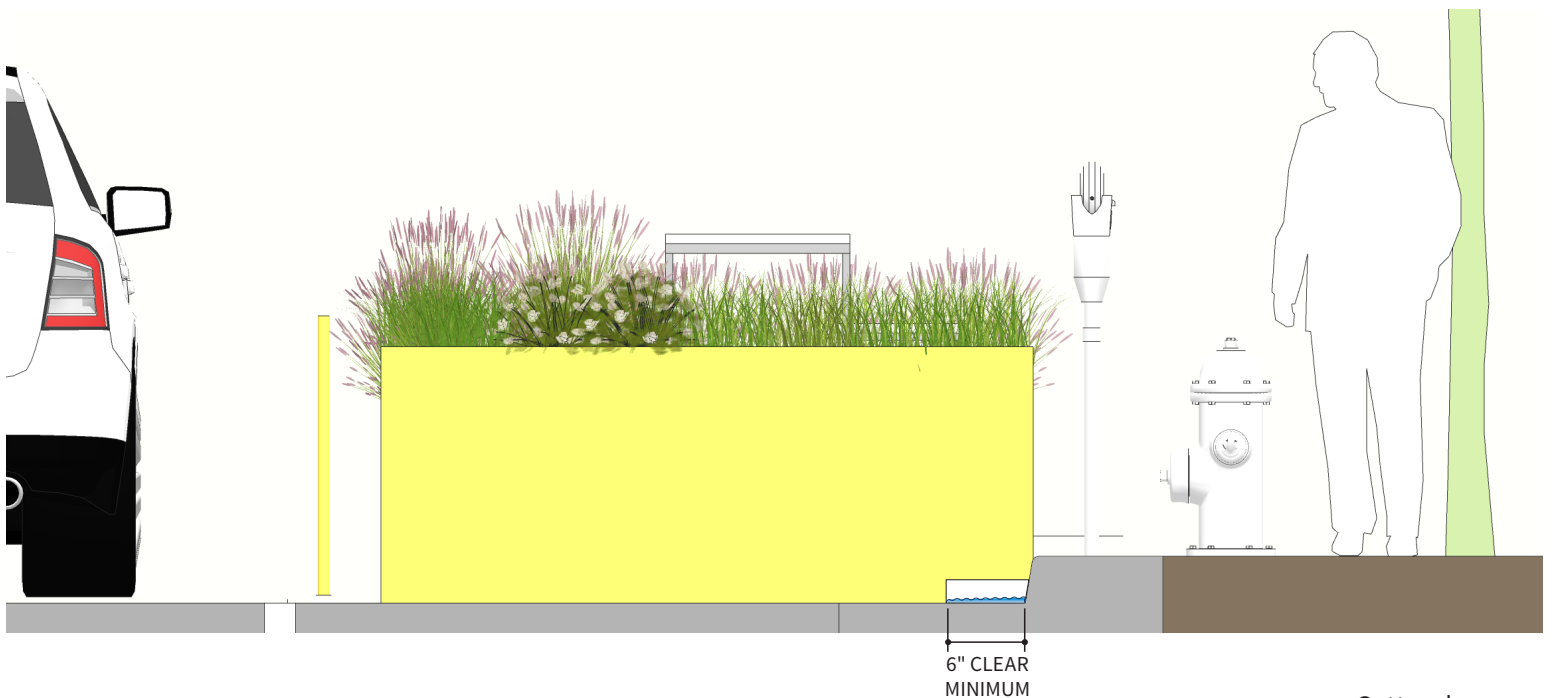


Required end and street-side buffers



Perimeter barriers

- A space buffer of at least one (1) foot must separate the streatery's street-side from traffic, and at least two (2) feet separates either parking-side. Wheel stops, parking blocks, or flex-post delineators must be installed at the boundaries of adjacent parking.
- The three faces of the perimeter joined to the street must have barriers such as rails and planters incorporated into their design. The barrier must be approximately waist high (3 ½ feet or more) to allow visibility for both pedestrians and vehicles. Soft-hit reflective posts aid visibility at each street-side corner and should be utilized. The streatery must be built according to Americans with Disabilities Act Accessibility Guidelines (ADAAG) to the extent that such guidelines apply.
- Streateries must be built as a semi-permanent structure capable of removal in a single day for emergencies such as flooding, utility access or other events as determined by the City.
- The streatery may be secured to the street by bolting it down into the asphalt. The owner is responsible for any repairs to the public realm in the event of removal; in general, such repairs must be accomplished in the same 24-hour time frame as streatery removal. Streatery materials should weigh no more than 200 pounds per square foot to limit damage to surface or utilities.



Gutter clearance

- In order to maintain curbside drainage, a minimum of six inches of cutout from the bottom of the base or other storm water drainage maintenance measures approved by the Director of Public Works is required.
- When a streatery is placed in a metered parking space, parking meter heads will be covered, and the on-street parking use removed.
- The platform design must be capable of bearing a load 100 pounds per square foot and be stable under wind-loads of 80 miles per hour. In the event of a tropical cyclone, the streatery may be required to be removed within 24 hours of notice of an approaching storm event.
- Signage is limited to that needed for safety or regulatory purposes, and one (1) sign denoting the operator of the streatery, which shall not exceed six (6) square feet in area, and must be located on the sidewalk side of the streatery. All other signage, including temporary signs, visible to and legible from the traveled way of the street or the adjacent sidewalk, is prohibited. This prohibition specifically includes non-manufacturer logos and names on umbrellas and other furnishings and fixtures.

General Material Requirements

- All materials must be suitable for exterior use.
- Metals other than stainless steel , chromed metals, or copper-based metals must be coated to prevent corrosion.
- Woods other than those which are naturally rot-resistant must be stained, varnished (or other type of clear coat), or primed and painted with exterior grade coatings on all sides prior to assembly.
- Colors must be similar to those used on the business facade or business branding and identity. Bright, vivid colors not associated with existing buildings or identity will not be acceptable.



Wood should be painted or sealed

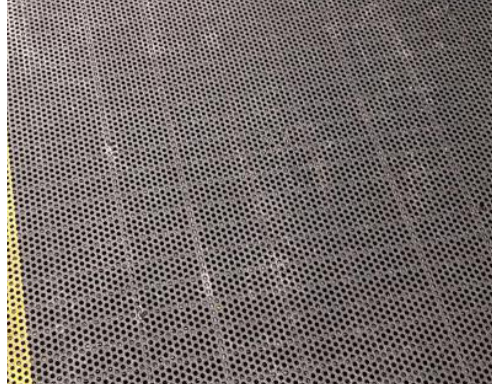


Metals should be painted or coated to prevent corrosion

Flooring Materials

Acceptable

- Aluminum, stainless steel
- Naturally rot-resistant wood
- Treated wood
- Wood composite
- Stone, concrete, ceramic, porcelain pavers
- Brick



Perforated aluminum floor



Composite wood decking

Prohibited

- Untreated solid wood in contact with the ground
- Indoor wood or laminate flooring
- Uncoated metals susceptible to corrosion
- Indoor carpet or artificial turf



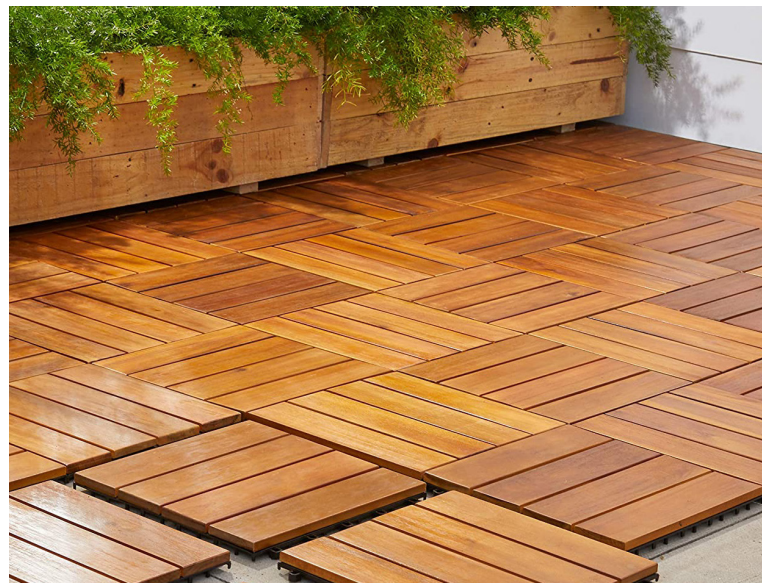
Interior laminate flooring is not acceptable



Artificial turf is not acceptable

Flooring Requirements

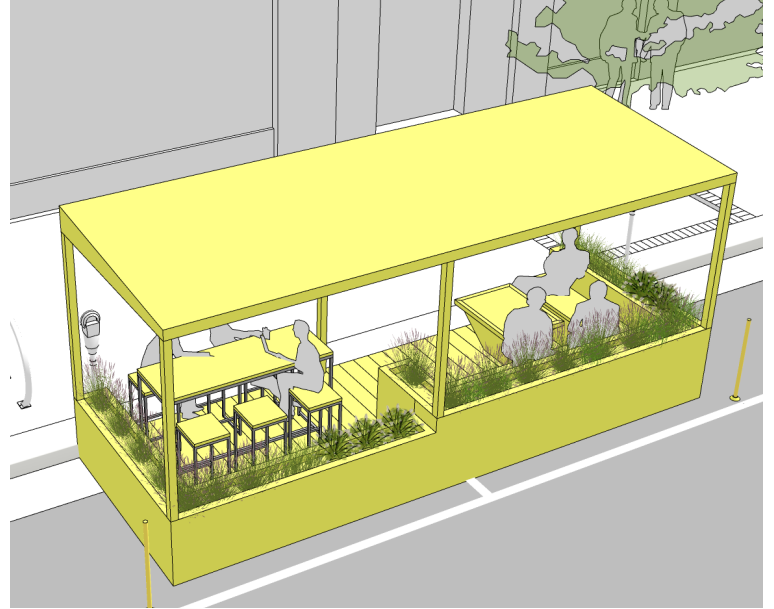
- All flooring must be slip-resistant
- Flooring must be within 2% slope in any direction
- Flooring must be designed to not retain standing water
- Maximum floor opening/slot/seam/gap is 1/4"
- Any elongated opening must be perpendicular to the primary direction of travel
- Maximum level change of 1/4"
- Level changes greater than 1/4" require a ramp
- Ramp runs shall have a running slope not steeper than 1:12



All flooring should allow drainage and be slip-resistant

Roof/Ceiling Requirements

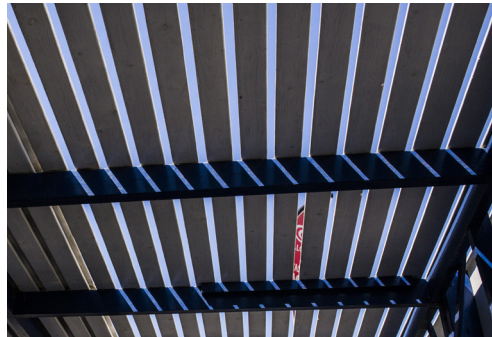
- No plastics are allowed
 - No PVC/Vinyl
 - No Polyester/Nylon
 - No Acrylic/Polycarbonate panels
 - No Fiberglass/FRP
- Canvas fabric ceiling material is allowed provided it meets the requirements below:
 - All materials making up the ceiling must meet flame propagation performance criteria of NFPA 701 or shall be treated with a flame retardant in an approved manner and meet the performance criteria of NFPA
 - Must remain stable in wind speeds of 50 MPH
 - Minimum 7'-6" clearance beneath the lowest part of the ceiling/roof, including any structural elements
- Permanent ceilings, structurally connected to the streaterly, must be designed to withstand wind speed up to 80 MPH. These ceilings must be removed, with the rest of the streaterly, if winds are expected to exceed 80 MPH.
- Non-permanent ceilings (tents, awnings, shade sails, umbrellas, etc.) must be stable in 50 MPH winds and be taken down and stored safely when winds are expected to exceed such speeds.



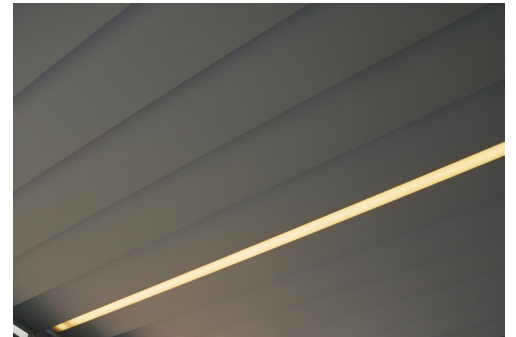
Roof/Ceiling Materials

Acceptable

- Aluminum, stainless steel, copper
- Painted, stained, or coated wood
- Naturally rot-resistant wood
- Fire retardant fabric material
- Glass (laminated)



Wood or metal slats



Lapped wood or metal roof

Prohibited

- Non fire-retardant fabrics
- Corrugated plastic
- Thatching (natural or artificial)



Corrugated plastic is not acceptable

Barrier Wall Requirements

- Transparent portion of walls (windows) may be composed of glass or clear vinyl
- Any glass elements must be shatter-resistant
 - tempered
 - wired
 - laminated
- Freestanding walls outside the footprint of the streaterly may be incorporated as wind breaks
 - 30% of wind break area should be open to allow for visibility and airflow
 - Freestanding walls must remain stable in wind speeds of 50 MPH, and be removed if winds are expected to exceed that speed



Barrier Wall Materials

Acceptable

- Aluminum, stainless steel, copper
- Painted or coated steel
- Painted, stained, or coated wood
- Naturally rot-resistant wood



Wood or metal planters with glass windows



Clear coated wood barrier walls

Prohibited

- Plastic panels or fencing
- Metal fencing
- Whole pallets
 - Recycled pallet wood is acceptable, however, the pallet must be disassembled, the wood painted, and then assembled into a finished looking component



Pallets are not acceptable



Vinyl fencing is not acceptable

Planters and Plant Materials

Planters: Planters are a friendlier and more attractive way to delineate an outdoor dining area and may be used in addition to, or in place of, other barrier designs.

The following guidelines apply to planters (and plants) used in outdoor dining:

PLANTERS

Planter Height: Must not exceed a height of 50" above the level of the sidewalk.

Plant Height: Must not exceed a height of 9' above the level of the sidewalk.

Material: All planters must have live plants contained within them. Plants shall be maintained in a healthy growing condition at all times, and replaced when necessary, or the planter removed from the public right-of-way. Seasonal, thematic planter displays are encouraged. Planters and material must be portable.

Prohibited: Artificial plants, empty planters, or planters with only bare dirt, mulch, straw, wood chips or similar material are not permitted. Moreover, planters shall not be used as a cigarette butt container, and must be cleaned of all such items at least daily.



Naturally rot-resistant wood



Concrete

PLANTER MATERIALS

Acceptable

- Aluminum, stainless steel, copper
- Painted or coated steel
- Painted, stained, or coated wood
- Naturally rot-resistant wood
- Concrete

Prohibited

- Plastic
- Pallets



Plastic is not acceptable



Coated wood planters as barrier walls

Umbrella Materials

Acceptable

- Fire retardant canvas material
- Color should match the color of the establishment's branding.
- Other colors must blend in with the surrounding environment



Prohibited

- Bright colors for the purpose of attracting attention
- Fringes, tassels or straps that are not fire-resistant
- Prominent logos or names not associated with the business operating the streaterie



Furniture Requirements and Materials

Overview: Outdoor dining furniture becomes a prominent part of the streetscape when used in the front of buildings, and such furniture needs to uphold the high standards applied to buildings and other improvements.

A wide range of furniture styles, colors and materials are permitted. All furniture and fixtures must be maintained in good visual appearance, without visible fading, dents, tears, rust, corrosion, or chipped or peeling paint. All furniture and fixtures must be maintained in a clean condition at all times. All furniture and fixtures must be durable, sturdy, stable, and shall be weighted as to not to blow over with normal winds or sudden storm events such as summer thunderstorms (wind gusts of 60 miles per hour).

The following guidelines apply to furniture and fixtures used in outdoor dining:

FURNITURE REQUIREMENTS

Freestanding: Furniture and fixtures must not be secured to trees, lamp posts, street signs, hydrants, or any other street infrastructure by means of ropes, chains, or any other such devices; whether during restaurant operating hours or at times when the restaurant is closed.

All-Weather: Furniture and fixtures used in outdoor dining must be specifically made for outdoor use.

Matching: All chairs used within an establishment’s outdoor seating area should match each other by being of visually similar design, construction, and color.

Storage: All furniture and fixtures must be removed and stored inside when not in use for an extended period of time.

FURNITURE MATERIALS

Acceptable

- Aluminum
- Wood
- Heavy-duty plastic
- Fabric

Prohibited

- Lightweight Plastic
- Upholstered furniture not rated for continuous exterior use
- Furniture prominently branded with logo or name other than those of the business operating the streaterly



Metal furniture



Heavy-duty exterior furniture



Temporary furniture not intended for continuous outdoor use



Lightweight residential plastic furniture

Tables

Outdoor dining furniture must also contribute to the overall atmosphere of the corridor and, if applicable, to any historic or historic overlay district, and be complementary in both appearance and quality.

Colors: Tables may be painted, anodized, colored or of a natural unpainted material (e.g., all-weather wood, metal, wicker, etc.). Tables are not permitted to be white plastic. In general, fluorescent or other strikingly bright or vivid colors will not be approved unless part of a discernible theme other than simply to gain attention.

Size and Shape: The size and shape of tables strongly affects the functionality of an outdoor dining area. Due to the narrow dimensions of stateries, restaurants should strive for space-efficient seating layouts and furniture configuration. Square or rectangular tables are strongly recommended as such tables may fit flush against a staterary wall and can permit more usable surface area for patrons.



Chairs

Chairs, like other outdoor dining elements, must contribute to the overall atmosphere of the corridor, and (if applicable) to any historic or historic overlay district, and must be complementary in both appearance and quality.

Colors: Chairs may be colored or of a natural unpainted material (e.g., all-weather metal, wood, wicker etc.). Chairs are not permitted to be white plastic. In general, fluorescent or other strikingly bright or vivid colors will not be approved unless part of a discernible theme other than simply to gain attention.

Upholstery: Upholstered chairs are permitted as are upholstered cushions for chairs. In general, fluorescent or other strikingly bright or vivid colors will not be approved unless part of a discernible theme other than simply to gain attention. Outdoor and water-resistant materials are required. Cushions must be attached in some manner to the chair itself.



Shade Structures

Umbrellas can add a welcoming feel to outdoor dining areas, and provide shelter from the elements; making their use desirable for outdoor dining applications. Appropriately designed and sized umbrellas are permitted for use under this outdoor dining program. Pop-up tents and freestanding canopies are only permitted if approved through the Fire Marshall and Building Code Official's process found at the link at the bottom of this page. All umbrellas must comply with the following conditions:

Contained Within The Outdoor Seating Area: To ensure effective pedestrian flow, all parts of any umbrella (including the fabric and supporting ribs) must be contained entirely within the outdoor seating area.

Height: In order to avoid causing an undue visual obstruction of other businesses, umbrellas must not exceed a height of 10' above the level of the sidewalk.

Colors: Umbrellas must blend appropriately with the surrounding built environment. Umbrellas must be of one solid color. In general, fluorescent or other strikingly bright or vivid colors will not be approved unless part of a discernible theme other than simply to gain attention. Signage and wording are not permitted.

Size And Shape: The size and shape of an umbrella strongly affects its functionality within a constrained space such as an outdoor dining area. Due to the narrow measurements of most restaurants' outdoor dining areas, restaurants using umbrellas should strive for space-efficient umbrella designs.

Market-Style Umbrellas Preferred: Market-style umbrellas (those designed specifically for patio or outdoor dining use, and which vent breezes) are preferred.

Material: Umbrella fabric must be of a material suitable for outdoor use, and must be canvas-type. No plastic fabrics, plastic/vinyl-laminated fabrics, or any type of rigid materials are permitted for use as umbrellas within an outdoor dining area.

Removable: Umbrellas must be able to be removed each night or during strong storms and stored inside, for the safety of pedestrians and surrounding business.

Retractable Awnings: Are allowed, though they must be fastened to the streaterly and not encroach more than 2' over the sidewalk-side of the curb.

If a tent is erected over the streaterly as a roof or shade structure, it must be permitted by the City. See the [OpenNorfolk Restaurant Guidelines](#) for the permit process and requirements.



Lighting

Lighting is allowed within streateries as an accent, and shall not overpower any adjacent site lighting or building lighting. The following guidelines apply to lighting used in streateries:

All-Weather: Lighting used within an outdoor dining area must be specifically made for outdoor use, and must have a hardwired electrical connection. All lighting shall be durable, sturdy, stable, and weighted as to not to blow over with normal winds or sudden storm events such as summer thunderstorms (wind gusts of 60 miles per hour).

Matching: All lighting used within an outdoor dining area should match by being of visually similar design, construction, and color.

Height: In order to avoid causing an undue visual obstruction of other businesses, lighting must not exceed a height of 10'.

Color Temperature and Brightness of Lighting: Lighting must be of a warm white color temperature between 2,500 Kelvin and 3,000 Kelvin; 2,700 Kelvin is ideal.

Maintenance: Lighting must be kept in proper working order at all times. Burnt out lighting must be replaced promptly (one working day).

Lighting Prohibited

Light Source: The lights must not contain any glare producing surfaces or inappropriate lighting (blinking, florescent, neon lights, etc).

Support: Lighting must not be secured to trees, lamp posts, street signs, hydrants, or any other street infrastructure by means of ropes, chains, or any other such devices.

Signage or Wording: Lighting must not contain signage for the restaurant or for any other entity in the form of wording, logos, drawings, pictorial or photographic representations, or any other likewise identifying characteristic.

Power Cords: Lighting may be plugged in to extension cords, provided that the extension cords are maintained in safe condition and protected from abrasion, pressure, and wear. Extension cords that become frayed or split must be replaced immediately.



These images have been selected to illustrate various possibilities of design and arrangement of stateries. Since these images are from communities all over the world and show installations that were designed and constructed under different guidelines than these, there may be some discrepancies in what would be permitted in Norfolk.

This simple wood staterery in Vancouver uses planters for edge delineation on the curb side, and provides umbrellas for shade and protection from rain.



© Alisha Jucevic/The Columbian

This Italian staterery is fully enclosed to be used year round and is complete with glazing and gutters.



A fabric roof and transparent wind breaks keep this streatory usable throughout much of the year. A ramp is provided to enable access.



Transparent vinyl curtains can be drawn down to keep wind out and heat inside this streatory.



These streateries include lighting and HVAC.



Operable curtain windows and a roof keep this streaterie comfortable. Leveling feet allow it to adapt to uneven ground.



Built-in lighting, radiant heat, and glazed windows make for a very polished looking streatory.



Quality hardwood construction and thoughtful details keep this very simple parklet-turned-streatory looking neat and finished. Metal plates are provided to transition from the curb to the streatory, though the constructor should have used thicker metal to prevent buckling.



Patron amenities such as bike racks are a helpful way to keep clutter off of sidewalks and attract additional business to a streaterly.



Modular Systems

Modular streatery (also called “parklet” or “dehors”) systems are available from several vendors in the United States. They are typically sold in 4'x8' or similar sized modules which can be joined together to create a large or small streatery. Most of the commercially available units are intended to be used as an open-air seating area and do not have roof options. Prices for complete systems typically run about \$10,000-\$15,000 per parking space.

Dero: This parklet/streatery from Dero is based on a 4'x8' modular platform and has options for the platform and railing only. Accessories like seating, tables, and planters must be sourced elsewhere. Requests for pricing and more information can be found here: https://www.dero.com/dero-parklet-free-quote/?gclid=EAlaIQobChMlp4C5yv2R7QIVDTiGCh1flw14EAMYASAAEgYUfD_BwE



StreetLife: This parklet/streatery system from StreetLife includes many options for seating, tables, benches, bike racks, planters, and a variety of finishes. It is based on a 71" x 118" module. Requests for pricing and more information can be found here: <https://www.streetlife.nl/us/products/parklet-system>



Pedestal Systems

Pedestal systems use a series of adjustable pedestals to support modular decking tiles. They provide a great deal of flexibility in design and placement, but require significantly more labor and time to install and remove than modular systems. They may also require more elaborate anchoring strategies to resist wind loads.

Bison: This pedestal system offers a variety of flooring options including the wood tiles seen here. All other streaterly elements must be purchased elsewhere: <https://bisonip.com/how-to-build-a-street-parklet-using-bison-products/>



Archatrak: This pedestal system is similar, however the manufacturer does also provide planters, railings, and ramps should they be desired: <https://www.archatrak.com/modular-decks/streetdeck-components/>



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