

**WENATCHEE PLANNING COMMISSION  
SCHEDULED MEETING  
November 18, 2020  
5:30 PM**

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<b>AGENDA</b>
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**I. CALL TO ORDER AND WELCOME**

**II. ADMINISTRATIVE AFFAIRS**

A. Approval of the minutes from the last regular meeting on October 21, 2020.

**III. PUBLIC COMMENT PERIOD**

Comments for any matters not included on the agenda.

**IV. OLD BUSINESS**

None

**V. NEW BUSINESS**

A. Public Hearing: 2021-2026 Capital Facilities Plan

B. Public Hearing: Triad Maple, LLC Comprehensive Plan Amendment Application

C. Public Hearing: 2020 annual update to development regulations and the Comprehensive Plan

**VI. OTHER**

None

**VII. ADJOURNMENT**

***In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Mayor's office at (509) 888-6204 (TTY 711). Notification 72 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to the meeting (28 CFR 35.102-35.104 ADA Title 1.)***

MINUTES

**I. CALL TO ORDER**

Chair Rani Sampson called the meeting to order via video conference at 5:30 p.m. with the following members in attendance: Dick Erickson, Ace Bollinger, Joe Gamboni, Susan Albert, Lael Isola, and Josh Jorgensen.

City Planning staff was represented by: Glen DeVries, Community Development Director; Stephen Neuenschwander, Planning Manager; Matt Parsons, Senior Planner; and Kim Schooley, Administrative Assistant.

**II. ADMINISTRATIVE AFFAIRS**

A. Approval of the minutes from the regular meeting on September 16, 2020.

**Commissioner Ace Bollinger moved to approve the minutes of the September 16, 2020 regular meeting. Commissioner Dick Erickson seconded the motion. The motion carried.**

**III. PUBLIC COMMENT PERIOD**

There was no public comment.

**IV. OLD BUSINESS**

None

**V. NEW BUSINESS**

A. Workshop: 2020 Development Code and Comprehensive Plan Amendments

Matt Parsons, Senior Planner, presented the staff report and specifically addressed the following amendments:

- Townhouse – definition
- District Use Chart
- Townhouses – wording and structure
- Residential shared general storage
- Signs in College District
- Feather Signs
- Landscaping
- Comprehensive Plan amendments
- Zoning and Land Use Map

Commissioners asked questions of staff and provided comment.

Parsons advised that all the amendments would come back to the Planning Commission for a recommendation at a public hearing at their next regular meeting in November.

**B. Workshop: 2020 Capital Facilities Plan Amendments**

Stephen Neuenschwander, Planning Manager, presented the staff report.

Commissioners asked questions of staff.

Neuenschwander advised that Planning Commissioners would be asked to make a recommendation on the plan at a public hearing at their next regular meeting in November.

**VI. OTHER**

None

**VII. ADJOURNMENT**

With no further business to come before the Planning Commission, Chair Rani Sampson adjourned the meeting at 6:25 p.m.

Respectfully submitted,

CITY OF WENATCHEE  
DEPARTMENT OF COMMUNITY DEVELOPMENT  
*Kim Schooley, Administrative Assistant*

# STAFF REPORT

**TO:** City of Wenatchee Planning Commission  
**FROM:** City of Wenatchee Community Development Staff  
**DATE:** November 3, 2020  
**RE:** 2021-2026 Capital Facilities Plan

## I. REQUESTED ACTIONS

Conduct a public hearing and formulate a recommendation to the City Council on the proposed City of Wenatchee Capital Facilities Plan 2021-2026, attached as Exhibit A.

## II. ENVIRONMENTAL REVIEW

The City of Wenatchee has determined the proposed amendments to the City of Wenatchee Capital Facilities Plan will not have probable significant adverse impacts on the environment. The City of Wenatchee has issued a determination of non-significance (DNS) on September 21, 2020. Notice of the environmental determination for the City of Wenatchee Capital Facilities Plan was made on September 24, 2020 with comments due by November 23, 2020.

## III. PUBLIC PROCESS

- The amendments and environmental documents have been posted on the City of Wenatchee website during the public comment and environmental review periods.
- Notice of the environmental determination/request for comments, and hearing notice for the City of Wenatchee Capital Facilities Plan was made on September 24, 2020 with comments due by November 23, 2020.
- Concurrent with the notices provided for the proposed amendments, copies of the environmental documents were sent to the Department of Ecology SEPA Register; and the City of Wenatchee provided formal notice to the Washington State Department of Commerce of the intent to adopt amendments to the City of Wenatchee Urban Area Comprehensive Plan and City of Wenatchee Zoning Code and initiation of the 60-day review and comment period. Additional notice was provided to local and regional agencies for the 60-day review and comment period/environmental determinations.

## IV. AGENCY AND PUBLIC COMMENTS:

No comments have been submitted at this time.

## V. PROJECT ANALYSIS

The Washington State Growth Management Act, RCW 36.70A establishes that the frequency of amendments for local comprehensive plans is limited to one annual



amendment process, with certain exceptions. The updating of a jurisdiction's capital facility plan may occur at a separate time than a local comprehensive plan amendment process in order to more closely align with a local jurisdiction's annual budget adoption process. In this situation, this proposed update to the capital facilities plan is being reviewed at the same as the annual update to the Wenatchee Urban Area Comprehensive Plan.

The City of Wenatchee has the lead role for the development of comprehensive plans and implementing development regulations in all parts of the City of Wenatchee Urban Growth Area south of the Wenatchee River and all incorporated areas north of the Wenatchee River.

## **COUNTYWIDE PLANNING POLICIES**

The January 2005 Interlocal Cooperative Agreement between Chelan County and the City of Wenatchee, reiterates the commitment in the 1997 Memorandum of Understanding between the cities in Chelan County and Chelan County for the City of Wenatchee to take the lead in the development of plans and development regulations to the South of the Wenatchee River. The memorandum and interlocal agreement establish in more detail commitments between jurisdictions to implement County Wide Planning Policies. The City of Wenatchee has forwarded the proposed Capital Facility Plan amendments to Chelan County for comment during the 60-day review and comment period. Upon formal action on the proposed amendments by the City, any adopted changes shall be forwarded to Chelan County for their review and adoption process consistent with the agreements between the County and the City.

The following Countywide Planning Policies are applicable to the proposed amendments:

### **POLICY 2: POLICIES FOR PROMOTING CONTIGUOUS AND ORDERLY DEVELOPMENT AND THE PROVISIONS OF URBAN GOVERNMENTAL SERVICES TO SUCH DEVELOPMENT.**

- II. Policies and procedures for establishing and monitoring level of service standards.
  - A. Existing level of service standards will be evaluated by each jurisdiction and locally acceptable level of service standards will be developed in each comprehensive plan area.
  - B. Level of service standards may differ between service areas within a given jurisdiction.
  - C. Level of service standards should be coordinated at the interface between adjacent jurisdictions.
  - D. Annual review of current levels of service and capital facilities will be made by jurisdictions.

## POLICY 8: AN ANALYSIS OF FISCAL IMPACT

- I. Each jurisdiction's Capital Facilities Plan should provide:*
- A. A plan for cooperation between public and private sectors to insure coordination of capital improvements with emphasis on the efficient provision of service at adopted levels concurrent with the demand for such service.*
  - B. An inventory of existing capital facilities including locations and capacities of capital facilities.*
  - C. An assessment of future needs for such capital facilities including:*
    - i. The proposed locations, capacities, and costs of expanded or new facilities*
    - ii. At least a six-year plan that will finance such capital facilities within projected funding capacities and clearly identifies sources of public money for such purposes; and*
    - iii. A requirement to reassess the land use element if probable funding falls short of meeting existing needs to insure consistency between the land use plan, the capital facilities plan*

## **CITY OF WENATCHEE URBAN AREA COMPREHENSIVE PLAN**

### TRANSPORTATION ELEMENT

*SYSTEM MAINTENANCE & SAFETY – Promote the safe and efficient operation of Wenatchee's multimodal transportation system.*

*Policy 1: Continue implementing the transportation preservation and maintenance program that improves safety and prolongs the service life of facilities by making use of street overlaying, crack sealing, and grinding.*

*Goal 7: Improvements – Continue to pursue sufficient funding for improving, maintaining, and expanding a comprehensive transportation network.*

*Policy 1: Seek adequate funding for the operation of the Street Overlay Program.*

*Policy 2: Fund strategic transportation investments prioritized by each project's anticipated long-term impact to capacity levels and consistency with city policies.*

### COMMUNITY DESIGN

*GATEWAYS -- Improve the visual appeal and navigability of Wenatchee by enhancing gateways into the city, its districts and neighborhoods.*

*Policy 1: Develop visually attractive and identifiable gateways at primary entrances to the city using a combination of streetscape, signage, and building orientation to create memorable community entries.*

*CORRIDORS – Develop appealing and efficient residential, mixed-use, and commercial corridors.*

*Policy 1: Create an overall sense of place along corridors by concentrating development in districts and discouraging new strip commercial development.*

**PUBLIC FACILITIES AND SERVICES ELEMENT**

**WATER** – Undertake comprehensive efforts to coordinate, conserve and ensure adequate water supplies for growth.

*Policy 1: Through cooperation with the regional partners, the city shall ensure that domestic water is adequate to serve the needs of the urban area before extension into rural areas of Chelan and Douglas Counties.*

*Policy 2: The city should review the feasibility and options of acquiring the water system within the urban area from Chelan County P.U.D..*

*Policy 3: The city should promote conservation of water.*

*Policy 4: Ensure the adequacy and availability of the water system for new development, including fire flow standards.*

**SANITARY SEWER** – Provide sanitary sewer service to the urban area.

*Policy 1: Maintain and update the sanitary sewer collection and treatment system.*

*Policy 2: Develop strategies for extension of the sanitary sewer collection system into the urban area, including Sunnyslope.*

*Policy 3: Monitor and expand the treatment capacity of the plant in advance of reaching critical capacities in accordance with the Department of Ecology planning requirements.*

**STORM WATER** – Provide storm water collection systems within the urban area.

*Policy 1: Continue to develop and maintain a city-wide, user-supported storm water operation, maintenance and improvement program.*

**CONCURRENCY** – Ensure that public facilities and services necessary to support development are adequate without decreasing current service levels below locally established minimum standards.

*Policy 1: Reassess the Land Use Element if probable funding falls short of meeting existing needs or any other indication that capital facilities planning is not adequate to meet demand.*

*Policy 2: Ensure that the City's Plan doesn't directly or indirectly preclude the siting of essential public facilities. Provisions should be maintained that establish a general use category which will provide for the siting of such facilities, when the occasion should arise.*

*Policy 3: The definition of essential public facilities shall be consistent with Chelan County's County-wide Planning Policies.*

An analysis, summary and recommendations for the proposed amendment to the Capital Facilities Plan are provided below. Please refer to Exhibit A for the complete text of the proposed amendment. Suggested findings of fact and conclusions of law are included at the end of the staff report applicable to the proposals.

**The annual update of the City of Wenatchee Capital Facilities Plan, 2021-2026.**

Proposed changes include:

Directors of the departments within the city have updated their 6-year projects lists extending through 2026, with potential funding sources identified in a 6-year financing plan. Text descriptions of these projects and associated tables with timing and funding sources have been identified. Projects identified in the first year of the plan are to be consistent with the adopted city budget.

#### Applicable provisions of the Growth Management Act

On a yearly basis, the City of Wenatchee has an obligation to make sure that capital facility expenditures listed in the City budget have been identified in the city's capital facility plan. Typically, this yearly review to verify consistency and make modifications to the capital facility plan occurs during the same time frame as the development and adoption of the city's budget in the fall. Amendment of the city's capital facility plan to coincide with the city budget can be separate from and in addition to the yearly amendment process of the city comprehensive plan.

The importance of doing yearly updates coinciding with city budget adoptions is highlighted by the requirement that jurisdictions' expenditures on capital facilities must conform with the comprehensive plan. *"RCW36.70A.120 "Planning activities and capital budget decisions-Implementation in conformity with comprehensive plan. Each county and city that is required or chooses to plan under RCW 36.70A.040 shall perform its activities and make capital budget decisions in conformity with its comprehensive plan."*

#### Applicable provisions of the Washington Administrative Code, yearly capital facility plan updates

The City of Wenatchee Capital Facility Plan provides an inventory of existing facilities, a forecast of future needs and a 6-year financing plan for facilities within that time frame. Updates occur to the capital facility plan on at least a biennial basis, as identified in WAC 365-196-415(2)(c)(ii), *"The six year plan should be updated at least biennially so financial planning remains sufficiently ahead of the present for concurrency to be evaluated. Such an update of the capital facilities element may be integrated with the county's or city's annual budget process for capital facilities."*

#### Consistency review

Draft changes to the capital facility plan are consistent with the draft 2021 city budget. The process of amending the capital facility plan in concert with the city's budget for 2021 is consistent with the requirements of GMA to ensure that capital budget decisions are in conformity with the city's comprehensive plan. Proposed changes consider city facility and service obligations, available resources and propose amendments to best utilize those fiscal resources.

Staff recommends **approval** of the proposed amendments to the City of Wenatchee Capital Facilities Plan based upon the suggested findings of fact and conclusions of law enclosed at the conclusion of the staff report.

## VI. SUGGESTED FINDINGS OF FACT AND CONCLUSIONS OF LAW

### Suggested Findings of Fact:

1. The City of Wenatchee has adopted the Wenatchee Urban Area Comprehensive Plan and a series of sub-area comprehensive plans pursuant to the Growth Management Act (GMA), RCW Chapter 36.70A, which cover the Wenatchee Urban Growth Area and all incorporated areas within the City of Wenatchee, that have been found to be consistent with each other and with the adopted GMA plans of the adjoining jurisdictions.
2. The City of Wenatchee Planning Commission is responsible for long range planning matters and providing implementation recommendations to assure compliance with the Growth Management Act for the City of Wenatchee Urban Growth Area in coordination with Chelan County and within the incorporated boundaries of the City of Wenatchee. These measures include updates and amendments to the comprehensive plan; development regulations, environmental regulations, and any other rules, actions or regulations deemed necessary to implement the Growth Management Act.
3. Copies of the environmental documents were sent to the Department of Ecology SEPA Register for the amendments to Capital Facilities Plan on September 24, 2020.
4. Notice of the public 60-day review and comment period, and public hearing dates were published in the Wenatchee World on September 24, 2020 for amendments to the Capital Facilities Plan.
5. On September 22, 2020, the City of Wenatchee provided formal notice to the Washington State Department of Commerce of the intent to adopt amendments to the City of Wenatchee Capital Facilities Plan and initiation of the 60-day review and comment periods. Additional notices were provided to local and regional agencies for the 60-day review and comment periods/environmental determinations.
6. The City of Wenatchee Planning Commission has reviewed the entire record including the goals and policies of the comprehensive plan and public testimony as it relates to the proposed amendments to the Wenatchee Urban Area Comprehensive Plan.
7. The City of Wenatchee issued a determination of non-significance (DNS) on September 21, 2020. Notice of the environmental determination for the City of Wenatchee Capital Facilities Plan was made on September 24, 2020 with comments due by November 23, 2020.
8. The goals and policies from the Wenatchee Urban Area Comprehensive Plan identified under Section V. Project Analysis of this staff report, are hereby incorporated as findings herein. These policies demonstrate consistency with the comprehensive plan and support the proposed amendments to the City of Wenatchee Capital Facilities Plan attached as Exhibit A to this staff report.
9. RCW 36.70A.120 establishes that, "Each county and city that is required or chooses to plan under RCW 36.70A.040 shall perform its activities and make capital budget decisions in conformity with it's comprehensive plan."

10. WAC 365-196-415(2)(c)(ii) establishes that, *“The six year plan should be updated at least biennially so financial planning remains sufficiently ahead of the present for concurrency to be evaluated. Such an update of the capital facilities element may be integrated with the county’s or city’s annual budget process for capital facilities.”*

Suggested Conclusions of Law:

- 1. The procedural and substantive requirements of the State Environmental Policy Act have been complied with.
- 2. The procedural requirements of RCW 36.70A have been complied with.
- 3. The proposed amendments are consistent with the Chelan County Countywide Planning Policies and the City of Wenatchee Urban Area Comprehensive Plan.
- 4. The proposed amendments are consistent with the requirements of Revised Code of Washington, and the Washington Administrative Code.
- 5. The proposed amendments have been reviewed and processed in accordance with the requirements of Title 10 Zoning, Title 12 Environmental Protection, and Title 13 Administration of Development Regulations of the City of Wenatchee Code.
- 6. The process of amending the capital facility plan in concert with the city’s budget for 2020 is consistent with the requirements of GMA to ensure that capital budget decisions are in conformity with the city’s comprehensive plan.

Attachment:

Exhibit A: City of Wenatchee 2021-2026 Capital Facilities Plan

# CAPITAL FACILITIES PLAN



CITY OF WENATCHEE 2021-2026

Adopted:  
Resolution No.

PO Box 519  
Wenatchee, WA 98807  
(509) 888-6200



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# Capital Facilities Plan

## 2021-2026

CITY OF WENATCHEE 2021-2026

### INTRODUCTION

The City's Capital Facilities Plan (CFP) provides a comprehensive project list and schedule guiding the investment of city resources in infrastructure. These resources are made up of local revenues as well as State and Federal grants. The CFP identifies those projects which have secured funding as well as a list of projects which have not yet been funded. The projects included in this plan have largely been identified through other planning efforts which are all incorporated into the City's Comprehensive Plan. The reader is referred to these other referenced plans for additional detail concerning projects.

Why is it important for a city to keep a capital facilities plan up to date? In particular, the following three compelling reasons drive the update of the City's capital facilities plan:

1. City health and long-term stability in terms of quality of life and its economy require replacement and repair of existing infrastructure, investment in new infrastructure, and correction of deficiencies.
2. The City receives many State and Federal grants for infrastructure. For example, the majority of street improvement projects are funded with grants. The majority of infrastructure grants and loan programs require that projects be identified the City's adopted Capital Facilities Plan.
3. The Washington State Growth Management Act of 1990 requires that capital facility plans be adopted and consist of (1) an inventory of existing capital facilities; (2) a forecast of the future needs for such facilities; (3) the proposed locations and capacities of expanded or new facilities; (4) at least a six-year plan that will finance such facilities within projected funding capacities and clearly identifies sources of public money for such purposes; and (5) a requirement to reassess the land use element if funding falls short of meeting existing needs.

The purpose of the CFP is to ensure the City plans for adequate facilities that are (1) consistent with the goals and policies of the Wenatchee Area Urban Comprehensive Plan: Planning to Blossom 2037; (2) consistent with the projected population growth and land use plan; (3) concurrent with, or within 6 years of the impacts of new development in order to achieve and maintain adopted level of service standards; and (4) based on sound fiscal policies for the city.

This document is updated annually serving as the 6-year financing/implementation plan for the City's Overall Comprehensive Plan. Projects funded in the first year of the plan are intended to be consistent with the adopted city budget. The Public Facilities and Services Element of the Comprehensive Plan and referenced individual public facility plans provide the information required by RCW36.70A.070 (3).

The city-owned public capital facilities encompassed by this plan include the following:

- streets
- sidewalks, paths and trails
- parking facilities
- street and road lighting systems
- traffic signals
- domestic water system
- storm sewer system
- sanitary sewer system
- parks and recreation facilities
- general administrative facilities
- museum
- convention center
- cemetery

Under the Growth Management Act, the city's Capital Facilities Plan must also be coordinated and consistent with CFP's of other public facility providers. Some of those providers within the Wenatchee Urban Area include: Wenatchee School District (schools), Chelan County P.U.D. (electrical, water, parks and recreation), Department of Transportation (highways), Wenatchee Reclamation District (irrigation water), Fire District No. 1 (fire protection), Chelan County (streets, solid waste, storm sewer, lighting, traffic signals, law and justice).

Upon passage of the 2021 budget, Appendix A will be added that will represent the adopted 2021 capital projects list.

## DEFINITIONS

The following definitions will help in understanding how this Capital Facilities Plan is put together and read.

**Capital Facility:** Capital facilities are structures, improvements, equipment, or other major assets (including land) with a useful life of at least ten (10) years. Capital improvements are projects that create, expand, or modify a capital facility. This definition applies to projects that cost more than twenty thousand (\$20,000) dollars.

**Public Facility:** The city-owned public capital facilities encompassed by this plan include the following: streets, sidewalks, paths and trails, parking facilities, street and road lighting systems, traffic signals, domestic water system, storm sewer system, sanitary sewer system, parks and recreation facilities, general administrative facilities, vehicles, convention center, museum, and cemetery.

**Level of Service:** Levels of service are usually quantifiable measures of the amount of public facilities that are provided to the community. Measures of levels of service are typically expressed as ratios of facility capacity to demand by actual or potential users. Sometimes, levels of service (LOS) standards are based on the public service, such as police protection, rather than on the facility that houses the service (e.g. police station).

**Concurrency:** This is a term that requires public facilities and services necessary to serve development to be in place at the time of development or a financial commitment is made to provide the facility within a certain period of time. The Growth Management Act requires concurrency on transportation facilities, while all other public facilities must be “adequate.” The Wenatchee Urban Area Comprehensive Plan, however, makes concurrency a requirement for city public facilities.

## CFP ORGANIZATION

This Capital Facilities Plan is organized around each of the public facilities provided by the city. Because the city wants to make sure that the Capital Facilities Plan is based on sound fiscal policy, all capital facilities for which city funds would be expended are included in the CFP, not just those facilities required to accommodate future growth. The CFP is based on the following categories:

- General Facilities (police, administrative offices, maintenance, museum, community facilities)
- Parks and Recreation
- Stormwater
- Water
- Regional Water
- Sewer
- Street Overlay
- Arterial Streets
- Street Maintenance Projects
- Convention Center
- Cemetery
- Broadview Secondary Access / Western Foothills Circulation
- Local Revitalization Financing
- Partnership Projects / Economic Development

## SERVICE STANDARDS

Under the Washington State Growth Management Act, levels of service must be adopted for Transportation Facilities as provided in the adopted transportation plans and transportation element of the Wenatchee Urban Area Plan. Adequate provisions for urban governmental services must be provided for other services in the Urban Growth Area. These standards are identified below:

### Schools

The Wenatchee School District has the most and some of largest public facilities in the Wenatchee Urban Growth Area. In addition, the public schools are recognized as one of the largest public services within

the City. Education serves one of the most important roles in community health as the quality of education today impacts the skill levels, employment rates, labor supply, and wages in the future. The City's Consolidated Plan, updated in 2013, provides critical data relative to demographics, work force development, and education levels. The data clearly represents a need to improve education especially amongst the most disadvantaged children. The Wenatchee School District is responsible for facility planning and service levels of the District, but coordination with the city's overall development is to be coordinated. The WSD is currently evaluating school facilities and overall needs to serve the city and in addition, new school partnerships are developing that may result in a Charter School.

## Fire Protection

City of Wenatchee is covered by Chelan County Fire Protection District #1 whose goal is to have a response of less than 6 minutes 90% of the time. Additionally, adequate fire protection for wild land urban interface events is mitigated with secondary access both for emergency vehicles and evacuations. The standard for secondary access is reflected in the Comprehensive Plan Circulation Map and building standards through the Wildland Urban Interface Code.

## Police Protection

All calls for assistance will be answered within a reasonable time consistent with the nature of the call. Police staffing levels are established by Council direction based on needs for special services division or partnerships (i.e. school resource officers).

## Water Supply

The City and PUD water systems are designed based on International Fire Code requirements for fire flow and Washington State Department of Health requirements for a safe supply of potable water. The City of Wenatchee is the administrator for the Regional Water System service Chelan County PUD and East Wenatchee Water District customers.

## Sanitary Sewer

The sanitary sewer system is designed based on a maximum daily load demand times 2.5 for collection system. Treatment capacity is designed based on Department of Ecology requirements as detailed in the Wastewater Treatment Plant Facilities Plan.

## Storm Water

The City stormwater system is designed to capture and convey runoff from Ten-year 24 hour Type 1A storm in the pipe system and twenty-five year 24 hour Type 1A storm in the streets within the gutters.

## Transportation, Levels of Service

The following standards are set for the city transportation network.

### Automobile

LOS "E" for urban corridors of regional significance

LOS "E" – averaged in the Wenatchee Central Business District

V/C ratio < 1.0 for all other arterials, transit routes, and highways

Refer to the transportation element of the comprehensive plan, and the regional transportation plan “Transportation 2040”

*Pavement Condition, Pedestrian, Bicycle, and Transit*

Development of LOS and performance measures at the federal level began in 2016 and at the city level with the adoption of the complete streets policy. Future updates to this plan will include a multi-modal approach to LOS that includes non-motorized transportation functions consistent with the regional transportation plan. In 2017, the City adopted the Pavement Management Plan which identifies a pavement condition levels and corresponding investment.

All roadways on the regional system should have pedestrian facilities and proposed bicycle facilities should be funded and constructed.

## FINANCIAL CONSTRAINTS

The first year of the capital facilities plan is typically consistent with the adopted City budget. However, since capital expenditures often impact multiple years after funding has been committed, it is prudent to plan ahead for the expenditure of funds for at least 3 years and in some cases longer. In addition, some of the City’s adopted plans include longer term expenditure plans in which resources are actively being pursued when opportunities arise. Often grant or loan resources become available for certain types of projects resulting from changing public policy at Federal, State, and local levels. The City of Wenatchee monitors these opportunities and puts forth funding applications for projects consistent with Federal, State, and local funding objectives. In order to effectively plan for capital expenditures, the plan is written with these concepts in mind. The following financial constraints help guide the planning process and to ensure that capital planning includes considerations of various financial impacts on the community and city government:

The first three years must be fiscally constrained. This means projects cannot be incorporated in the first three years unless they include all of the following:

- a. The project has been approved for funding from an existing source of city revenues OR grant(s) have been awarded to fund the project and match is available (awarded means the project must be on a selected funding list waiting for legislative approval or a letter of award has been received).
- b. Annual operation and maintenance costs have been accounted for, or are a reasonable increase over prior year’s expenditures
- c. If the project requires financing through the issuance of revenue bonds, voter approved bonds (UTGO), or non-voter approved/Council manic (LTGO) bonds, then Council approval of the issuance must be in place.

Years 4 and beyond represent all of the other unfunded capital needs of the City. This means although funding has not been secured, there are possible funding sources for the projects.

## OVERALL PLAN

### 2021-2026 Project Summary

Public Facilities Type	Funded	Unfunded
General Facilities	15,326,000	1,720,000
Parks, Recreation & Cultural Services	7,296,314	14,053,500
Stormwater	12,051,985	20,664,170
Water	2,081,900	55,391,300
Regional Water	769,140	52,953,000
Sewer	18,960,080	47,754,326
Streets	32,015,205	323,417,203
Convention Center	800,000	12,000,000
Cemetery	-	1,525,000
Homeless/Housing/CDBG Programs	724,000	2,000,000
Economic Development - LRF District	4,150,000	-
Economic Development - Partnerships	14,588,098	69,000,000
<b>Total</b>	<b>\$ 108,762,722</b>	<b>\$ 600,478,499</b>

## GENERAL FACILITIES

### Description:

General facilities ~~covers~~cover city administrative offices, public works buildings, and other city facilities that do not have dedicated fund sources, such as water and sewer systems. The focus of the 6-year capital facilities financing plan for general facilities is maintenance, preservation and/or expansion of city-owned facilities.

The City is experiencing growth with the annexation of Olds Station, continued population increases and increasing levels of service required of city functions. As a ~~result~~result, City Hall and the Public Services Center continue to grow in terms of personnel. Both City Hall and the newly constructed PSC are out of space. Because of the desire of the City Council to have City administration located in the same building for efficiency reasons, and to create a better experience for customers who will be able to access the City in a one stop location, the City and LocalTel, a local business, purchased the former Federal building and entered into a public private partnership through a condominium in which approximately two thirds of the building is now owned by ~~the~~as the city for the purposes of redeveloping the space into a new City Hall. Repurposing this building is consistent with the South Wenatchee Action plan to activate a key commercial property bridging downtown and South Wenatchee. The City estimates investing a total of \$14.5 million into this facility to establish a new city hall. During 2019 and 2020 the City went through the

~~design process and received bids on mid-2020. The bids were well over the estimated construction costs and all bids were rejected.~~ Approximately \$10~~1~~ Million remains to be invested in the next several years.

~~Given relocation of City Hall to the Federal Building, the city entered into a lease with the General Services Administration for the use of the existing city hall building at 129 S. Chelan Avenue. As part of the lease obligation, the city will upgrade the building shell to meet seismic requirements and correct existing deficiencies in the building. This work is anticipated to be performed in 2019 with the GSA taking possession in mid-2020.~~

At the current downtown campus, with the addition of the new Police Station in 2004, the existing police facility was opened up for occupancy by other departments of the City. The Information Systems Department, the Facility Maintenance Division of Public Works and the Drug Taskforce of the Police Department have all located in this facility, called the Historic Police Station. The influx of additional personnel has revealed a deficiency of parking spaces. There is a need for secured parking for the police vehicles as well as additional parking needs for the Police Station facility. Additional parking is being planned as a lid structure over a portion of the new Police Department parking lot; this project is estimated at \$340,000. A parking analysis is needed to explore additional parking options to determine if this is the best solution for the facility and the public. In addition, the city is adding parking through a public private partnership as described in the Economic Development section of this plan

In 2018 the City completed a facilities condition assessment, which is a comprehensive look at the overall maintenance, operation and replacement needs of city owned facilities. The assessment also provides an annual cost and schedule for work to be completed. The assessment identifies \$2,200,200 of equipment that needs to be addressed. The City’s Facilities Division has evaluated the data and recommends ~~2021~~2020 capital improvement projects in the amount of \$~~3~~200,000.

**Funded Projects:**

The following projects are funded and are either under way or will be underway in the near future. For additional information, please refer to Appendix A for detailed project budget sheets.

Project Name	Total Project Budget	Previous Years	2021 Budget	2022	Future Years
1603 - Public Works Yard & Storage Expansion	300,000	166,000	134,000		-
1716 - Federal Building Remodel	14,546,000	4,932,000	7,500,000	1,980,000	134,000
PSC Wash Bay Enclosure	80,000	-	80,000	-	-
Facility Asset Replacements	400,000	200,000	-	200,000	-
<b>Total</b>	<b>15,326,000</b>	<b>5,298,000</b>	<b>7,714,000</b>	<b>2,180,000</b>	<b>134,000</b>

**Unfunded Projects:**

The following projects have resulted from planning and needs assessment studies or as identified by staff, community members, and elected officials. Funding has not been secured for these projects; however, possible funding sources are identified.

Project Name	Funding Sources	Est. Project Cost
PSC Upgrades (from Space Needs Assessment)	General Funds	75,000
Police Station Parking	General Fund-Facilities Fund	1,000,000
Facility Parking Lot Maintenance	General Fund-Facilities Fund	350,000
Police Station Landscaping	General Fund-Facilities Fund	75,000
Museum Window Renovation	Grants, General Fund-Facilities	220,000
<b>Total</b>		<b>1,720,000</b>

## PARKS, RECREATION AND CULTURAL SERVICES

### Description:

Over a nine-month period in 2016-17 the Parks, Recreation and Cultural Services Department conducted a public involvement process to prepare an update of the six-year Parks, Recreation and Open Space (PROS) Plan. The PROS plan establishes a framework to guide the acquisition, development and improvement of park areas and facilities, habitat areas and the provision of arts and recreational services throughout the City of Wenatchee. The plan is for the 2018-2024 time period. It was adopted by the City Council in May 2017.

The PROS plan is divided into six basic sections consistent with State requirements. The following is a summary of each section of the document to provide context for the development of the capital facilities plan. The first chapter contains a basic introduction and summary of the document. The second chapter describes the planning area including parks and recreational facilities, habitat areas, arts and current statistics. The third chapter describes the existing public, semi-public and private parks, arts and recreation resources within the planning area. The fourth chapter describes the methodology for determining the demand and needs. The wealth of recently completed, related planning efforts are incorporated into this chapter and summarized as they relate to the City park system. The section creates a link between the City plan and State funding agency plans. The section also includes a summary of public meetings and workshops and other outreach efforts. The fifth chapter of the plan contains the goals, objectives and strategic actions that respond to the desires expressed during the public input process. The sixth chapter contains a summary of the capital investment plan and describes the project ranking criteria. It includes a prioritization matrix system consistent with COM recommendations. It contains a summary of common funding mechanisms, includes a section outlining ongoing maintenance considerations and arts, recreation and organizational priorities.

For many cities, including Wenatchee, the amount of funds required to acquire the desired acres of park land and develop the proposed parks and recreational facilities is beyond their financial capabilities. Many of the capital projects included in the plan contain the assumption that some funding may be derived through future successful grant applications and continued community support in the form of financial donations. The City must continue to rely on, and partner with, other public, private and nonprofit organizations to help generate revenue and support for the projects if they are to be realized.

### Funded Projects:



The following projects are funded and are either under way or will be underway in the near future. For additional information, please refer to Appendix A for detailed project budget sheets.

Project Name	Total Project Budget	Previous Years	2021 Budget	2022	Future Years
Kenzie's Landing Acquisition & Development	2,643,914	1,787,614	856,300	-	-
Saddle Rock Habitat & Trail Restoration	2,392,000	1,200,000	1,192,000	-	-
Lincoln Park Renovation	2,260,400	68,000	2,192,400	-	-
<b>Total</b>	<b>7,296,314</b>	<b>3,055,614</b>	<b>4,240,700</b>	<b>-</b>	<b>-</b>

**Unfunded Projects:**

The following projects have resulted from planning and needs assessment studies or as identified by staff, community members, and elected officials. Funding has not been secured for these projects; however, possible funding sources are identified.

Project Name	Funding Sources	Est. Project Cost
Locomotive Park Restrooms	Sewer Fund	200,000
Memorial Park Renovation	General Fund, Lodging Tax Fund, Art Fund, Donations	900,000
Okanogan Street Park	General Fund, CDBG Fund, Donations	820,000
Wenatchee Foothills Regional Recreation Area	General Fund, Paths and Trails, RCO Grant, Donations	983,500
Sage Hills Trail head	General Fund, Sewer Fund, RCO Grant, Donations	700,000
Pennsylvania Park Renovation	General Fund	100,000
Pioneer Park Renovation	General Fund, Bond Proceeds, Art Fund, Lodging Tax Fund, RCO Grant	8,250,000
City Pool Liner Replacement	General Fund, RCO Grants	880,000
Sunnyslope Area Acquisition	General Fund, RCO Grants, Property Donation	1,020,000
Washington Park Parking/Sidewalk	General Fund	200,000
<b>Total</b>		<b>14,053,500</b>

UTILITIES

STORMWATER

**Description:**

Projects in this program provide infrastructure necessary collect and convey urban stormwater to minimize urban flooding from rainfall events and to improve the quality of stormwater being discharged into surface waters and comply with the general National Pollutant Discharge Elimination System (NPDES) stormwater permit. The existing stormwater system consists of a network of inlet structures and piping generally located within the street system designed to collect surface water, provide water quality treatment, and convey it to the nearest surface water body.

The Storm Drain Utility Fund is an enterprise fund designed to account for the financial activities related to the City's ongoing improvement and expansion of the storm sewer system and compliance with NPDES regulations. The revenue for this fund is generated from a flat monthly charge to each single-family residence as well as a monthly charge to commercial and multi-family residences based on an "equivalent residential unit". The equivalent residential unit is an impervious surface of ~~4,2003,000~~ square feet. Part of the comprehensive plan update (~~20102020~~) included a capital improvement plan along with associated rate increase recommendations. The capital improvement plan is reflected in this document. ~~and an~~

~~effort to update the comprehensive plan (2010) is underway. The update to the comprehensive plan is scheduled be completed by the end of 2020. Part of the update will include an updated capital improvement plan along with a financial analysis to investigate any potential need for additional rate increases.~~

The Stormwater capital plan includes a number of projects identified in the adopted comprehensive plan as outlined in the table below. ~~The comprehensive plan and the associated capital improvement plan will be updated over the course of 2019-2020. This will result in an updated list of priority projects.~~ Projects include conveyance, rehabilitation, expansion of the collection network, and water quality projects. Based on the ongoing compliance with National Pollutant Discharge Elimination System (NPDES) permit, many of these projects will focus on improving the quality of the water discharged into the Wenatchee and Columbia Rivers.

An important new piece of the stormwater system is the Regional Decant Facility which was constructed in 2015 by the City of Wenatchee and Chelan County to provide a location to manage and dispose of street sweepings and vactor waste that would be in compliance stormwater and solid waste management regulations. The facility is owned and operated by the City and managed under an interlocal agreement with Chelan County.

**Funded Projects:**

The following projects are funded and are either under way or will be underway in the near future. For additional information, please refer to Appendix A for detailed project budget sheets.

Project Name	Total Project Budget	Previous Years	2021 Budget	2022	Future Years
1903 - Peachey Street	997,100	35,000	962,100	-	-
2004 - Springwater Stormwater	75,000	20,000	55,000	-	-
2008 - Walla Walla Improvements	1,000,900	-	70,000	930,900	-
North Wenatchee Stormwater Master Planning	60,000	-	60,000	-	-
2012 - Snohomish Outfall Improvements	395,000	-	50,000	345,000	-
North Wenatchee Phase 2	246,000	-	-	246,000	-
Roosevelt Improvements	110,500	-	-	110,500	-
Ringold/7th Basin Analysis	148,000	-	-	148,000	-
Crescent Street	200,000	-	-	-	200,000
Pershing (Springwater to Maple)	1,873,670	-	-	-	1,873,670
North Columbia (First to Palouse)	210,000	-	-	-	210,000
Russell	1,020,600	-	-	-	1,020,600
Orchard	412,000	-	-	-	412,000
Upper Squilchuck Road Extension	150,000	-	-	-	150,000
Millerdale Street	340,200	-	-	-	340,200
North Wenatchee Phase 3	516,000	-	-	-	516,000
Cashmere	172,620	-	-	-	172,620
Ringold/7th/Princeton	628,000	-	-	-	628,000
Ohme Garden Road	1,440,195	-	-	-	1,440,195
Canyon Drain FEMA Match	1,800,000	-	-	-	1,800,000
Loves Court	256,200	-	-	-	256,200
Lavern	248,000	-	-	-	248,000
Vista Place	285,000	-	-	-	285,000
Ramona & Sunset	985,000	-	-	-	985,000
<b>Total</b>	<b>12,051,985</b>	<b>55,000</b>	<b>1,197,100</b>	<b>1,780,400</b>	<b>10,537,485</b>

**Unfunded Projects:**

The following projects have resulted from planning and needs assessment studies or as identified by staff, community members, and elected officials. Funding has not been secured for these projects; however, possible funding sources are identified.

Project Name	Funding Sources	Est. Project Cost
Kenaston & Linville	Storm Drain Utility Reserves	743,000
Western Ave	Storm Drain Utility Reserves	1,604,000
South Hills Drive	Storm Drain Utility Reserves	757,000
Fifth Street	Storm Drain Utility Reserves	931,770
Miller	Storm Drain Utility Reserves	499,800
Michael Place	Storm Drain Utility Reserves	138,600
Canal/Marie/Marilyn	Storm Drain Utility Reserves	344,400
S Chelan	Storm Drain Utility Reserves	200,000
Day Road	Storm Drain Utility Reserves	987,000
Filbeck/Seattle	Storm Drain Utility Reserves	693,000
Cedarwood Lane	Storm Drain Utility Reserves	138,600
Miller	Storm Drain Utility Reserves	3,393,000
Skyline Drive	Storm Drain Utility Reserves	2,097,000
Walnut	Storm Drain Utility Reserves	1,311,000
Avenda	Storm Drain Utility Reserves	221,000
Poplar	Storm Drain Utility Reserves	241,500
South Miller	Storm Drain Utility Reserves	283,500
Jennings St/lone and Maxine	Storm Drain Utility Reserves	1,234,000
Methow	Storm Drain Utility Reserves	690,000
McKittrick from Pine to Western	Storm Drain Utility Reserves	2,346,000
Horse Lake Road	Storm Drain Utility Reserves	1,810,000
<b>Total</b>		<b>20,664,170</b>

**WATER****Description:**

The major emphasis in the water distribution system over the next six years will be on replacing aging steel water mains to improve water quality, reduce the amount of Unaccounted for Water (UAW) as well as reduce emergency main line breaks, outages and damage to reconstructed roadways. ~~Another big focus over the next six years will be to explore and analyze sites to serve as a second source for the regional water system that serves the greater Wenatchee area.~~

The last complete update to the Comprehensive Water System Plan recently adopted by the City Council in September of 2018 from which a Capital Improvement Plan (CIP) was developed. Rate increases of 6%/year starting in 2019, together with a simplified system investment fees for new connections funds the water capital program. The plan prioritized capacity projects, main replacement, and reservoir

improvements. Projects included in this CFP are a reference from the CIP contained in the 2018 Comprehensive Water System Plan.

#### Funded Projects:

The following projects are funded and are either under way or will be underway in the near future. For additional information, please refer to Appendix A for detailed project budget sheets.

Project Name	Total Project Budget	Previous Years	2021 Budget	2022	Future Years
1918 - 2020 AC Water Main Replacement	926,900	100,000	-	-	826,900
2001 - Linwood Avenue/ Rosewood Avenue	583,000	30,000	30,000	-	523,000
2011 - Cascade (Peachey to Spokane)	259,000	-	41,000	218,000	-
4 MG Property Purchase	313,000	-	-	313,000	-
Millerdale (Jessica to Miller)	1,374,000	-	-	-	1,374,000
Crawford (Okanogan to Miller)	1,162,000	-	-	-	1,162,000
<b>Total</b>	<b>2,081,900</b>	<b>130,000</b>	<b>71,000</b>	<b>531,000</b>	<b>3,885,900</b>

#### Unfunded Projects:

The following projects have resulted from planning and needs assessment studies or as identified by staff, community members, and elected officials. Funding has not been secured for these projects; however, possible funding sources are identified.

Project Name	Funding Sources	Est. Project Cost
Annual Pipe Replacement Program - Old Steel and CI Pipe	Water Utility Revenues	36,429,000
Lincoln Street (Methow to Cascade)	Water Utility Revenues	207,000
Fifth Street	Water Utility Revenues	1,514,000
Stewart Street (Cherry to Montana)	Water Utility Revenues	160,000
Columbia Street (2nd to Kittitas)	Water Utility Revenues	1,078,000
Montana Street West (Stewart to Gellatly)	Water Utility Revenues	309,000
Dakota Street West (Stewart to Gellatly)	Water Utility Revenues	296,000
Washington Street East (Summercreek to Elliott)	Water Utility Revenues	502,000
Washington Street West (Okanogan to Douglas)	Water Utility Revenues	308,000
Terminal Avenue	Water Utility Revenues	516,400
New Utility Billing Software	Water Utility Revenues	100,000
4 MG Reservoir Replacement	Water Utility Revenues	12,190,000
BPS 1 pump 3 replament	Water Utility Revenues	109,900
2 MG Reservoir Exterior Coating	Water Utility Revenues	299,000
8 MG Reservoir Exterior Coating	Water Utility Revenues	873,000
New Meter Reading System	Water Utility Revenues	500,000
<b>Total</b>		<b>55,391,300</b>

## REGIONAL WATER

### Description:

The City of Wenatchee operates the Regional Water system on behalf of the Chelan County PUD, the East Wenatchee Water District and the City of Wenatchee. The Regional Water System is governed by the Regional Coordinating Committee (RCC), which is made up of representatives from each water purveyor.

In 2014 the RCC began a process to analyze the adequacy of the existing supply and transmission system to meet current and future needs and to evaluate the overall redundancy of the system. The 13 locations identified were evaluated for many criteria including water quality, wellhead protection, cost to develop, cost of operations and how they met the goal of multi-faceted redundancy. Ultimately the regional committee “short-listed” three options all south of Wenatchee, all on the Chelan County side of the Columbia River. The preferred options were determined to be non-viable. Further exploration will continue as the second source exploration and analysis continues until a viable site is discovered. Discussions and plans are being evaluated for exploring additional sites. Once verified as a viable second water source, the actual development schedule will be in the range of 5-7 years.

The last update to the Regional Water System Plan was adopted in 2018. The plan included a capital improvement schedule as outlined in the table below. The Regional Water System Plan update, including a revised capital improvement plan completed in 2019 is shown below.

**Funded Projects:**

The following projects are funded and are either under way or will be underway in the near future. For additional information, please refer to Appendix A for detailed project budget sheets.

Project Name	Total Project Budget	Previous Years	2021 Budget	2022	Future Years
1302 - Regional Water Redundancy Study	769,140	600,000	169,140	-	-
Well Level Transmitters	32,000	-	32,000	-	-
Annual Periodic Major Maintenance	103,000	-	16,000	17,000	70,000
Transmission Main Corrosion Protection	150,000	-	-	150,000	-
<b>Total</b>	<b>769,140</b>	<b>600,000</b>	<b>169,140</b>	<b>-</b>	<b>-</b>

**Unfunded Projects:**

The following projects have resulted from planning and needs assessment studies or as identified by staff, community members, and elected officials. Funding has not been secured for these projects; however, possible funding sources are identified.

Project Name	Funding Sources	Est. Project Cost
Well 4 Motor Service	Regional Water Reserves / Bond	61,000
Second Source Design & Construction	Regional Water Reserves / Bond	52,892,000
<b>Total</b>		<b>52,953,000</b>

## SEWER

### Description:

The City completed a Comprehensive Sewer Plan in 2017. This plan included a prioritized Capital Improvement Plan for a major extension of sanitary sewer services ~~into the Sunnyslope and Olds Station areas, to support recently annexed areas north of the Wenatchee River (2016) and to provide for higher density development in the expanded sewer service area in the Sunnyslope Bench~~ to provide sewer to unserved areas and support higher density development in Sunnyslope and the foothills. The program also includes much-needed upgrades to the wastewater treatment plant (WWTP) to support both increased flows as well as meeting regulatory requirements and needed efficiency improvements.

Funding for the 2017-2037 sewer CIP is through municipal bonding, repayment of which will be made through a revised fee and rate schedule for current and prospective utility customers. Rate increases of 6%/year for five years starting in 2018, together with simplified system investment and capital facilities fees for new connections, will support the nearly \$48M / 20-year sewer capital program.

Ongoing annual maintenance and rehabilitation of the collection system's main lines, manholes and pump stations is mandatory. Specific needs are identified through a continuing and consistent video inspection program. Costs to perform this ongoing maintenance work have been included in the financial plan and revised rate structure for the sewer utility.

### Funded Projects:

The following projects are funded and are either under way or will be underway in the near future. For additional information, please refer to Appendix A for detailed project budget sheets.

Project Name	Total Project Budget	Previous Years	2021 Budget	2022	Future Years
1810 - WWTP Digester 4 *	11,044,800	800,000	3,683,000	6,561,800	-
1908 - Knowles Road Sanitary Sewer (Planning Only)	50,000	5,000	45,000	-	-
2002 - Pershing & Poplar Sewer Extension	1,116,000	55,000	25,000	1,036,000	-
2003 - UV/WWTP Facility Plan Update	220,000	-	220,000	-	-
Modular Building for Wastewater Treatment Plant	120,000	-	120,000	-	-
Lincoln Park Bathroom & Sewer Repair	420,000	-	420,000	-	-
2010 - North Wenatchee Avenue Sewer Repair (5th to 7th)	350,000	-	350,000	-	-
Duncan Road	1,050,000	-	50,000	-	1,000,000
Easy St/Hwy 97/2 Casing install in coordination with WSDOT	100,000	-	-	-	100,000
Olds Station (E. of Euclid) Gravity Sewer Replacement	594,720	-	-	-	594,720
Methow Repair & Replacement	318,000	-	-	-	318,000
Biofilter Replacement	1,000,000	-	-	-	1,000,000
Digester 1 Repair and Improvements	1,000,000	-	-	-	1,000,000
LS2 Broadview Lift Station (Relocate)	826,560	-	-	-	826,560
Blower Building Equipment Upgrades	750,000	-	-	-	750,000
<b>Total</b>	<b>18,960,080</b>	<b>860,000</b>	<b>4,913,000</b>	<b>7,597,800</b>	<b>5,589,280</b>

### Unfunded Projects:

The following projects have resulted from planning and needs assessment studies or as identified by staff, community members, and elected officials. Funding has not been secured for these projects; however, possible funding sources are identified.

Project Name	Funding Sources	Est. Project Cost
G8 Pipe Replacement Program	Sewer Utility Revenues	1,800,000
Alley Miller to Pioneer S. of Plum 8" VCP replacement	Sewer Utility Revenues	150,000
Okanogan Ave Repair & Replacement	Sewer Utility Revenues	174,000
FG01 Easy Street Gravity Sewer Trunkline	Sewer Utility Revenues	2,065,710
G3 Penny Rd. Gravity Sewer Replacement	Sewer Utility Revenues	228,064
Secondary Clarifier #3	Sewer Utility Revenues	3,066,980
Biosolids Drying Bed Expansion	Sewer Utility Revenues	2,558,000
Digester 2 Repair and Improvements	Sewer Utility Revenues	1,000,000
Digester 3 Repair and Improvements	Sewer Utility Revenues	1,000,000
Locomotive Park bathroom	Sewer Utility Revenues	200,000
FG21 Skyline North (Cherry 1/2)	Sewer Utility Revenues	752,461
FG23 Methow Street - North (Craw3)	Sewer Utility Revenues	471,238
FG27 Methow Street -South (Met1)	Sewer Utility Revenues	231,000
FLS3 Ohme LS and FM	Sewer Utility Revenues	2,033,660
G2 Easy Street (Olds6)	Sewer Utility Revenues	314,159
FG09 Walnut Street (Walnut1)	Sewer Utility Revenues	1,517,000
FG35 Sunnyslope Sewer Extensions	Sewer Utility Revenues	17,875,393
STUDY1 Inflow/Infiltration Study	Sewer Utility Revenues	391,432
STUDY2 Sunnyside Basin Analysis	Sewer Utility Revenues	65,239
FG11 Harris Place (McKitt2)	Sewer Utility Revenues	324,000
G6 Methow Street (Peach2)	Sewer Utility Revenues	391,080
FG26 Circle Street – South Miller Street to Okanogan (Craw 2/4)	Sewer Utility Revenues	872,000
FG28 Canyon Breeze Lane (Met1)	Sewer Utility Revenues	333,000
G5 South Walker Avenue (Peach2)	Sewer Utility Revenues	228,000
FG08 Locust Street (Maiden4)	Sewer Utility Revenues	420,000
FG25 Circle Street – South Miller Street to Saddle Rock Trailhead (Red2)	Sewer Utility Revenues	455,000
FG32 Jeffrey Court (Squil3)	Sewer Utility Revenues	708,603
FG07 Harbel Street (Maiden4)	Sewer Utility Revenues	317,000
FG20 Lester Road, Day Road, and Day Drive (5th-2)	Sewer Utility Revenues	770,000
FG33 Chapman Road (Squil5)	Sewer Utility Revenues	1,055,876
FG10 Stella Avenue (McKitt4)	Sewer Utility Revenues	240,000
FG18 Cypress Lane (Spring1)	Sewer Utility Revenues	238,989
FG19 Westwick Road (5th-2)	Sewer Utility Revenues	725,000
FG24 Gehr Street (Craw1)	Sewer Utility Revenues	336,000
FG29 Hidden Meadow Drive (Met1)	Sewer Utility Revenues	414,000
FG30 Hidden Meadow Drive – South (Met1)	Sewer Utility Revenues	288,000
FG31 Kray Ike Court (Squil3)	Sewer Utility Revenues	315,000
FG34 Confluence Parkway Ph. I	Sewer Utility Revenues	1,134,442
FG15 Maple Street - North (Maple0)	Sewer Utility Revenues	803,000
FLS2 Warm Springs LS and FM	Sewer Utility Revenues	1,491,000
<b>Total</b>		<b>47,754,326</b>



## TRANSPORTATION

### PAVEMENT PRESERVATION

#### Description:

The Federal Highway Administration defines pavement preservation as a program employing a network level, long-term strategy that enhances pavement performance by using an integrated, cost-effective set of practices that extend pavement life, improve safety and meet motorist expectations.

An effective pavement preservation program will address pavements while they are still in good condition and before the onset of serious damage. By applying a cost-effective treatment at the right time, the pavement is restored almost to its original condition. The cumulative effect of systematic, successive preservation treatments is to postpone costly rehabilitation and reconstruction. During the life of a pavement, the cumulative discount value of the series of pavement preservation treatments is substantially less than the discounted value of the more extensive, higher cost of reconstruction and generally more economical than the cost of major rehabilitation. Additionally, performing a series of successive pavement preservation treatments during the life of a pavement is less disruptive to uniform traffic flow than the long closures normally associated with reconstruction projects.

The Street Overlay Fund #111 is a special revenue fund which was designed to account for financial activities related to the City's previous street overlay program. The Street Overlay Program was developed by the Public Works Department in 1996 and was intended to provide for the overlay of all City streets over a 15-year repeating cycle. The Street Overlay Program was revisited by the Public Works Department in 2005 with a recommendation for additional financial investment. In 2015 the City invested in a pavement management software (PMS) program to help determine the minimum funding necessary for maintaining and preserving the city's pavement system consistent with current pavement preservation methodology. The result of the analysis indicated the City will need to invest between \$2.4 to \$2.9 Million annually over a ten year period to maintain the pavement system at nearly the then current overall pavement condition index (PCI) of 71. Even with this level of investment, the deferred maintenance of the roadway network increases from \$5 to \$10 Million over a 10-year period. The analysis demonstrated the need to implement lower cost surface treatments such as chip seals to extend the life of the streets even further based on the lack of sufficient preservation funding. In 2016, the City Council appointed a citizen's committee to evaluate the Pavement Management Program and recommend their preferred program and level of investment. Based on their recommendation back to City Council, they recommended Scenario 5B that maintained arterials and collectors at current conditions and included an investment level of nearly \$30M over a 10 year period. The city was able to exceed the recommended budget levels of the program in 2019 and 2020 bringing the overall PCI up to an estimated 73.

~~The Street Overlay Fund #111 is a special revenue fund which was designed to account for financial activities related to the City's previous street overlay program. The Street Overlay Program was developed by the Public Works Department in 1996 and was intended to provide for the overlay of all City streets over a 15-year repeating cycle. The Street Overlay Program was revisited by the Public Works Department~~



~~in 2005 with a recommendation for additional financial investment. In 2015 the City invested in a pavement management software (PMS) program to help determine the minimum funding necessary for maintaining and preserving the city's pavement system consistent with current pavement preservation methodology. The result of the analysis indicated the City will need to invest between \$2.4 to \$2.9 Million annually over a ten year period to maintain the pavement system at nearly the current overall condition. Even with this level of investment, the deferred maintenance of the roadway network increases from \$5 to \$10 Million over a 10 year period. The analysis demonstrated the need to implement lower cost surface treatments such as chip seals to extend the life of the streets even further based on the lack of sufficient preservation funding. In 2016, the City Council appointed a citizen's committee to evaluate the Pavement Management Program and recommend their preferred program and level of investment. Based on their recommendation back to City Council, they recommended Scenario 5B that maintained arterials and collectors at current conditions and had a level of investment that minimized the use of chip seal. This recommendation required the City to find new revenue sources to dedicate to the long term implementation of the Pavement Management program.~~

In 2012 The City of Wenatchee formed the Wenatchee Transportation Benefit District (TBD) with the same corporate boundaries as the City. A \$20 per year car license fee was imposed at the same time and took effect in June of 2012. The funds generated from the fee have been transferred annually to the Overlay fund to be used on projects as determined by the City Council. The Transportation Benefit District was adopted with a provision dedicating ten percent of the revenues to pedestrian related improvement projects contained within the six year street plan. The formation of the District includes a sunset clause for the end of 2030. This will provide a long-term reliable funding source to aid in the implementation of the PMS. This revenue source has been generating over \$600,000 per year.

Unfortunately, due to the passage of a statewide initiative in 2019, these TBD funds are currently in question and are assumed to be unavailable this year and into the foreseeable future.

In summary, the Cities on-going revenue allocations provide approximately 50% of the recommended funding to maintain the City's pavement preservation program, however tThe City Council continues to pursue other sources of revenue to fully fund the Pavement Management program.

~~Staff has pursued other financing options such as those offered through the Public Works Trust Fund (PWTF). However, the PWTF Program has been undergoing drastic changes over the last two legislative sessions and has not been a reliable source of funding. The City Council continues to identify other additional sources of revenue to fully fund the Pavement Management program and has increased funding significantly starting in 2018. The funding scenario below shows both the 111 and 119 funds combining to address the pavement preservation needs of the city.~~

## ARTERIAL STREETS

### Description:

Every year the City is required to adopt a comprehensive six-year Transportation Improvement Program (TIP). This plan includes financially constrained projects in the first several years and planned projects for later years. The projects are identified in the TIP as either "selected (S)" or "planned (P)" meaning that selected projects have a dedicated funding source as identified in the plan and planned projects do not. The majority of projects are financially unconstrained or planned and therefore fall into the later years of

the plan. The City TIP for ~~2020-2021-2025-2026~~ was adopted by ordinance (Ordinance ~~2019-32~~2020-17) in ~~August, 2019~~July, 2020. **See Appendix B for a full copy of the TIP.**

The City of Wenatchee receives a portion of the State's motor vehicle fuel tax, a portion of which is dedicated to Arterial Streets. Historically, this revenue has been used as matching money for transportation infrastructure grant opportunities. Between 2006 and 2015, this dedicated funding, which averaged \$289,000 per year leveraged \$19.5 million in grant funds for street infrastructure improvements. More recent analysis has shown an even higher amount of leveraging in recent years.

Primary sources of transportation grants for the classified street system are state of Washington and Federal funds. Typical state programs include the Transportation Improvement Board (TIB), and the Active Transportation Programs. The typical Federal program is the Surface Transportation Program. Both State and Federal programs include sub programs for safety and non-motorized projects. The City of Wenatchee competes with other agencies for state and federal funds. Specific criteria, including safety, mobility, structural condition, congestion, multimodal components, and project benefit/cost are often evaluated by the granting authority.

Arterial street projects are typically funded by grants with 13.5% to 20% match from the Arterial Street fund. Some programs provide incentives for a lower match percentage or have no match requirement. The TIP identifies those funded projects and associated grant funding sources. The arterial street fund has needed additional funding in the past to maintain the ability to match available grants and absorb project cost overruns. The following table presents all of the funded projects as well as projects that are currently being pursued. A comprehensive list of all of the planned City projects is included in the attached **Six Year Transportation Improvement Plan; see Appendix B**. The total capital needs in the 2020 TIP is approximately ~~\$306~~\$350 million.

The SR285/North Wenatchee Avenue Master Plan was adopted by the city in 2011 addressing congestion and circulation between US 2 and Miller Street. This plan was prepared by the Chelan Douglas Transportation Council (CDTC) formerly known as the Wenatchee Valley Transportation Council (WVTC) in partnership with property owners, the City, Washington State Department of Transportation (WSDOT), and Chelan County. This corridor has been identified as the highest transportation priority within the CDTC jurisdiction.

Within the Master Plan a number of options were evaluated. The Confluence Parkway alternative was approved by the CDTC as the preferred alternative which also includes a number of identified large and small projects, several on Wenatchee Avenue itself. While the City works to realize Confluence Parkway, interim improvements to North Wenatchee Avenue are necessary. Preliminary estimates for these improvements were estimated at approximately \$55 Million. During the 2015 Legislative session the "North Wenatchee Area Improvements" project was partially funded in the Washington State Legislature Connecting Washington funding package. The project identified several components from the North Wenatchee Transportation Master Plan in its scope. These include improvements to the SR2/97 & Easy Street intersection, deployment of an intelligent Transportation System (ITS) through the North Wenatchee corridor, access control and intersection improvements at both the north and south ends of the corridor, safety improvements throughout the corridor and initiation of the environmental review for the larger Confluence Parkway project. Approximately \$23 Million was secured for the North Wenatchee Avenue area between Miller Street and US 2 through the Connecting Washington program. The WSDOT and city partnered beginning in 2017 to identify the most effective uses of the Connecting Washington

~~funds within the North Wenatchee Avenue corridor to improve safety, mitigate congestion, improve all modes of transportation, enhance the business district, and improve the northerly gateway into the city. The partnership and investment culminated in a document titled “North Wenatchee Avenue (SR285) Preliminary Engineering Summary Report” which better defined projects and priorities for expenditure of the Connecting Washington funds allocated to the SR285 corridor. The WSDOT is currently in the development stages of several projects along the corridor that are consistent with the report.~~

~~Within the Master Plan a number of options were evaluated. The Confluence Parkway alternative was approved by the CDTC as the preferred alternative which also includes a number of identified large and small projects, several on Wenatchee Avenue itself. In an effort to phase improvements associated with North Wenatchee Avenue and the Confluence Parkway, the city developed phase 1 of the plan for implementation in 2013. While the City works to realize Confluence Parkway interim improvements to North Wenatchee Avenue are necessary. Preliminary estimates for this phase are approximately \$55 Million. During the 2015 Legislative session the “North Wenatchee Area Improvements” project was partially funded in the Washington State Legislature. The project identified several components from the North Wenatchee Transportation Master Plan in its scope. These include improvements to the SR2/97 & Easy Street intersection, deployment of an intelligent Transportation System (ITS) through the North Wenatchee corridor, access control and intersection improvements at both the north and south ends of the corridor, safety improvements throughout the corridor and initiation of the environmental review for the larger Confluence Parkway project. Approximately \$23 Million was secured for the North Wenatchee Avenue area between Miller Street and US 2 through the Connecting Washington program. The WSDOT and city are currently partnering to identify the most effective uses of the Connecting Washington funds within the North Wenatchee Avenue corridor to improve safety, mitigate congestion, improve all modes of transportation, enhance the business district, and improve the northerly gateway into the city.~~

The city worked with the WSDOT, CDTC and regional partners beginning in 2017 to apply for federal INFRA funding to complete a suite of projects identified as the Apple Capital Loop and proposes to use the Connecting Washington funds as match. The total project size is estimated at approximately \$250 Million. Although no funding was secured in the first ~~three~~<sup>two</sup> application rounds, the city was successful in securing funds for NEPA for Confluence Parkway, and regional partners will continue to pursue funding through INFRA or other grant programs for the whole suite of projects. Typically, large federal funding requests take a number of application cycles to successfully secure funding. The city will continue to move the project forward incrementally while applying for funding.

The City is considering funding approximately \$5 Million in the Western Foothills roads to improve safety as a results of fire danger, improve safety for pedestrians, bikes, and motorists, and to improve circulation. These roads include Skyline Drive, Woodward Drive, North Road, a secondary access connection from Maiden to the Surry Road area, a secondary access connection to Castlerock Ave. from Fifth St. and other intersection improvements.

In 2016, the city adopted a complete streets policy to ensure adequate consideration for non-motorized transportation needs along with enhanced landscaping along transportation corridors.

## STREET MAINTENANCE

### Description:

The City street system continues to grow through annexations and development while street maintenance funding has often not kept up. Preservation and maintenance funding levels compared to street growth and inflation have fallen behind, but pavement has been addressed in recent years as can be seen in the overlay section of this report (Pavement Management Program).

City street-related assets include pavement, curb, gutter, sidewalk, illumination, traffic signals and signs, pavement markings, bridges, and other infrastructure. Maintenance of these assets are included in the street maintenance budget 108. In recent years with the formation of the transportation benefit district and development of a pavement management program, some pavement preservation work is being accomplished by city street maintenance personnel.

This section identifies some projects included in the city's street maintenance budget that are beyond the definition of street maintenance and preservation.

Sidewalk maintenance by city code is the responsibility of the abutting property owners and is not funded otherwise in the city budget except for some minor repair and replacements deemed necessary and the responsibility of the city. A minor budget amount in the 108 fund is intended to deal with sidewalk deficiencies and minor gaps as identified in the table below. The Transportation Benefit District was adopted with a provision dedicating ten percent of the revenues to pedestrian related improvement projects contained within the six-year street plan which could help with sidewalk rehabilitation.

Cement concrete streets are not included in the city's pavement preservation program as their maintenance and preservation is vastly different from that of typical of asphalt roadways, and they are an important feature in our Grandview Historic District. The city has utilized maintenance funding for replacement of cement concrete panels as they become unusable or safety concerns. The 2020 budget proposes additional funding to address the minimal needs of maintaining this small percentage of the street pavement system as indicated in the table below.

**Funded Projects:**

The following projects are funded and are either under way or will be underway in the near future. For additional information, please refer to Appendix A for detailed project budget sheets.

Project Name	Total Project Budget	Previous Years	2021 Budget	2022	Future Years
0623 - McKittrick and Wenatchee Avenue Signal	2,846,570	2,069,570	777,000	-	-
1615 - N. Wenatchee Ave. Ped. and Median Imp's	889,770	83,190	806,580	-	-
1801 - 9th Street Rail Crossing	1,467,955	120,000	1,347,955	-	-
1804 - Confluence Parkway NEPA	2,930,000	2,000,000	800,000	130,000	-
1907 - Tacoma Avenue	2,077,100	310,000	1,767,100	-	-
1911 - South Wenatchee Safety Improvements	297,800	44,300	253,500	-	-
1912 - Miller & Montana Crossing Improvments	249,400	44,500	204,900	-	-
1916 - Methow Street Improvements	1,531,800	279,000	1,252,800	-	-
1917 - Maple Street Improvements	1,447,830	184,000	1,263,830	-	-
1919 - McKittrick St/North Columbia Street I/S	5,020,000	300,000	4,720,000	-	-
2005 - Fill Sidwalk Gaps	215,000	20,000	195,000	-	-
2005 - Washington Street Traffic Calming	75,000	-	75,000	-	-
2005 - 9th Street Pedestrian Improvements	50,000	-	50,000	-	-
2005 - Bike Improvements	50,000	50,000	-	-	-
2005 - Lighting Upgrades	40,000	-	40,000	-	-
2005 - Emerson Street ADA Ramps	100,000	10,000	90,000	-	-
2007 - Springwater Avenue	2,456,980	-	560,000	1,896,980	-
Miller St. Realignment and Storm Repairs	4,200,000	-	500,000	3,700,000	-
Springwater Avenue Extension North	1,125,000	-	-	1,125,000	-
SR285 Easy Street/Penny Rd. Northbound Off-Ramp	1,000,000	-	-	1,000,000	-
Street Preservation Program	3,420,000	-	570,000	570,000	2,280,000
M&O Pavement Preservation projects	525,000	75,000	75,000	75,000	300,000
	<b>32,015,205</b>	<b>5,589,560</b>	<b>15,348,665</b>	<b>8,496,980</b>	<b>2,580,000</b>

#### Unfunded Projects:

The following projects have resulted from planning and needs assessment studies or as identified by staff, community members, and elected officials. Funding has not been secured for these projects; however, possible funding sources are identified.

Project Name	Funding Sources	Est. Project Cost
Westside High - 9th St. Pedestrian X-ing	SRTS	302,203
Elliott Ave./Castlerock Ave. Pedestrian Crossing Improvements	SRTS	400,000
Orchard Middle School Sunset Ave. Improvements	SRTS	315,000
N. Miller St./BNSF RXR safety improvements	Rail Section 130	800,000
McKittrick St. - SR285 Intersection Phase 2	WSDOT, State Other	22,000,000
North End North Wenatchee Ave. Projects Phase 2	WSDOT, State Other	22,000,000
North Wenatchee Ave./Hawley St/Walnut St. Intersection	WSDOT, State Other	7,000,000
North Wenatchee Ave./Maple St. Intersection Improvements	WSDOT, State Other	9,000,000
Spot and corridor safety improvement projects	HSIP, 109	1,200,000
SR 285 Easy Street / Penny Road Northbound Off-Ramp	001, 109, Dev.	1,000,000
Pedestrian and Bicycle Connections	Complete Streets, Dev., 108, 109	100,000
Miscellaneous bicycle system improvements.	TBD, Complete Streets	60,000
Wenatchee River Br. Shared Use Pathway - Pre-Design Analysis	WSDOT, Ped/Bike	75,000
Gunn Ditch Corridor Shared Use Pathway	WSDOT, Ped/Bike	1,530,000
Pedestrian Corridor along Stevens Street	Complete Streets, Other	250,000
Residential Traffic Calming	001, Dev.	60,000
Illumination upgrades	Complete Streets, CDBG, 109, Other	60,000
Truck Route Improvements	STP, 109	500,000
Loop Trail Connection: Confluence State Park to Olds Station Road	Bike/Ped, STP, 109	600,000
Confluence Parkway Phase 1 (Hawley St. South)	INFRA, FASTLANE, BUILD, Connecting WA, 410, 405, 109, Other	58,300,000
Confluence Parkway Phase 2 (Hawley St. North)	INFRA, FASTLANE, BUILD, Connecting WA, 410, 405, 109, Other	64,000,000
McKittrick Street/BNSF Grade Separation	INFRA, FASTLANE, BUILD, Connecting WA, 410, 405, 109, Other	34,400,000
Orondo St. Multimodal Improvements	STBG, 109	1,000,000
Millerdale Improvements	TIB, 109	1,836,000
Red Apple Road Phase 2	TIB, 109	1,800,000
Chelan/Kittitas Intersection Control (Signal)	STBG, 109	500,000
Woodward urban upgrades.	001, TIF	3,600,000
Railroad Grade Crossing Upgrades	Other	100,000
Skyline Drive Widening	001, TIB, 109	3,500,000
North Road Improvements	TIF, 109, Dev.	2,600,000
Maiden Lane Extension	TIF, 001	950,000
Maple, Broadview, Surry vic. Connections	TIF, 001	13,049,000
Westwick extension to Maiden extension	TIF, 001	7,900,000
Second Street extension west	TIF, 001	1,070,000
Gunn Road Urban Upgrades	WSDOT	1,000,000
McKittrick Street Improvements	TIB, 109	1,500,000
Miller/Crawford Intersection Control	TIB, 109	500,000
Fifth and Western Intersection Capacity Improvements	TIF, 001, Dev.	650,000
Walnut St. Improvements	TIB, 109	1,500,000
Crawford Ave. Improvements	STP, 109	500,000
Traffic Signal Improvements	STP, 109	1,500,000
Mission Street to Mission Ridge Gateway	STP, 109	500,000
North Wenatchee Avenue Complete Streets Improvements	STP, 109	1,500,000
Castlerock to Fifth Street Connector	TIF, 001	5,700,000
Crawford and Okanogan Intersection Control	STP, 109	450,000
Easy Street and Penny Rd. Intersection	STP, 109	660,000
Railroad Grade Pedestrian Crossing	Other	4,000,000
Relocate BNSF Wenatchee Terminal	Other	32,000,000
Wenatchee Street Pavement Preservation	TBD, B&O, Util, 001	9,600,000
<b>Total</b>		<b>323,417,203</b>

BROADVIEW SECONDARY ACCESS/WESTERN FOOTHILLS CIRCULATION AND FIRE ACCESS/WESTERN FOOTHILLS TRANSPORTATION IMPACT FEES

Description:

~~The Broadview Secondary Access Service Area is defined in Title 15 of the Wenatchee Municipal Code. A capital fund was established in 2011 to provide a mechanism for funding and constructing secondary access in the Broadview Area fund through impact fees. In 2019, due to additional development adjacent to Broadview, a study was conducted of the larger for the Western Foothills Circulation area (within the city's UGA) for needed improvements to address adequate secondary access and level of service standards for fire access\_ to address development and to update prior cost estimates for the Broadview Secondary Access improvements. This study was also an implementation step from the City's Community Planning Assistance for Wildfire Planning process in 2015-2016, which informed the planning effort. This study, entitled the Western Foothills Transportation Impact Study is hereby included in this plan by reference. Title 15, which was established by Ordinance 2011-02 and amended on November 14, 2019 with Ordinance 2019-41 which replaced the former Broadview Impact Fee area.outlines the following:–~~

Each year staff is required to perform the following functions in order to comply with the ordinance:

1. Review the capital estimates for completion of the facilities and make adjustments to the capital estimates in the Capital Facilities Plan.
2. Review the impact fee calculation. Staff shall incorporate revised capital estimates for completion of the facilities and review the structures constructed. In addition, the impact fee ordinance provides an anticipated number of structures and lots to be created. If the cost per structure increase or decrease significantly, then staff shall make recommendations to the City Council to adjust the fees accordingly by ordinance. A construction cost inflator is contemplated in Title 15.
3. On an annual basis the City Council shall be provided with a report on the impact fee account showing the source and amount of funds collected and the public improvements financed by those funds as detailed in WCC 15.02.080. The capital facilities plan update and annual budget may serve as such report.

**Public Facilities and Fees:** The Western Foothills Transportation Study identified a maximum legally defensible impact fee of \$24,742 based on improvements necessary to support future development. The improvements identified in the study area consist mainly of fire access road improvements along with some multimodal improvements. [Ordinance 2019-41 set the Western Foothills Transportation Impact Fee at \\$7,500 per additional single-family residential Building Permit](#)

~~**Account Activity:** Thus far, \$4,830 was collected in 2014. A temporary secondary access was constructed by City crews to address the immediate safety concerns; however, it is not adequate as a permanent solution. These costs for construction of the temporary road are not included in the impact fee calculation.~~

~~In 2019 the \$4,830 was used to assist in funding a study of the larger circulation needs in the Western Foothills and the study updated the cost estimates for the circulation anticipated by the earlier Broadview impact fees so that a new program of impact fees could be developed, updating and replacing the Broadview Secondary Access Impact Fee. Based on City Council action fall 2019, the 2021-2026 Capital Facilities Plan would be updated with the new impact fee program and table of slated improvements.~~



**Table 1: Cost of Basic Fire Access and Multimodal Improvements for City Connections**

Connection Description	Project #	Basic Fire Access Cost	Multimodal Cost	Total Cost
North Road East of Canal	1A	\$225,000	-	\$225,000
North Road West of Canal (24-foot-wide cross-section)	1B	\$1,550,000	-	\$1,550,000
North Road Improvement through Schnibbe & Parlette Property	1C	\$825,000	-	\$825,000
Maiden Lane Extension	2	\$937,500	-	\$937,500
Maple Street Improvements	3	-	\$1,300,000	\$1,300,000
Triad Development Connections	4	\$13,049,250	-	\$13,049,250
Springwater Connection across School District Property	5	\$1,125,000	-	\$1,125,000
Westwick Connection to Triad Connection	6A	\$7,048,125	-	\$7,048,125
Westwick Multimodal Improvements to Surry Road	6B	-	\$860,600	\$860,600
Springwater (Western to Woodward)	7	-	\$2,768,400	\$2,768,400
Woodward (Springwater to 5 <sup>th</sup> Street)	8	-	\$3,626,151	\$3,626,151
2nd Street Connection, 325 ft of road across Noyes property to Philipi property	9A	\$243,750	-	\$243,750
2nd Street Connection, 775 ft of road across Philipi property from Noyes property to Maxine street	9B	\$581,250	-	\$581,250
Maxine Street Extension from Lone Place to Red Hawk Canyon Drive	9C	\$243,750	-	\$243,750
Castle Rock Connection north of water tank property to Maxine Street (on Philipi property)	10A	\$3,480,000	-	\$3,480,000
Castle Rock Connection south of water tank property to existing Castle Rock	10B	\$1,680,000	-	\$1,680,000
5 <sup>th</sup> Street & Western Avenue Intersection Improvements*	11	-	\$632,100	\$632,100
<b>Total</b>		<b>\$30,988,625</b>	<b>\$9,187,251</b>	<b>\$40,175,876</b>

Source: City of Wenatchee

\*This project is an LOS-driven intersection project

## CONVENTION CENTER



**Description:**

The Convention Center is a City-owned facility that is operated under agreement with ~~The~~ Coast Wenatchee, LLC (formerly Coast Wenatchee)Center Hotel. Not only is the Convention Center an anchor facility to Wenatchee’s Historic Downtown, but it is particularly important to the City’s economy. The success of the Convention Center has a direct impact on lodging and food service businesses and therefore, revenue from the operation of the facility and revenue from lodging taxes from hotels within the City are used to operate and maintain the facility as well as pay off long-term capital debt and provide for facility and equipment upgrades and replacements. This funding is reviewed and approved during the annual application process carried out by the City’s Lodging Tax Advisory Committee.

The original Convention Center was built and equipped in 1980 and has had many renovations throughout the years to keep the facility competitive. With guidance from the Lodging Tax Advisory Committee, lodging tax funds have been directed to continue facility upgrades and pay off existing capital bonds. In order to keep the Convention Center competitive into the future, a market analysis was conducted in 2019 to look at options for the facility moving forward. Options may include expansion of the facility based on a current convention center market analysis. ~~The study is currently in progress, any recommendations and or projects will be added once complete. Currently the convention center projects have been put on hold until the proper funding can be identified to make improvements.~~

~~In 2019~~ Most recent projects include the lower level restroom remodel, reconditioning of walk-in cooler, project was finished. Additional improvements have been made including additional chair railing installation and refinishing the entry doors to the new chairs were purchased for the banquet meeting rooms.

Current projects planned for 2019 into 2020 as funds become available include upgrades to the upstairs bathrooms, replacing air walls, and LED lighting upgrades, ~~and repair or replacement of the walk-in cooler.~~

**Funded Projects:**

The following projects are funded and are either under way or will be underway in the near future. For additional information, please refer to Appendix A for detailed project budget sheets.

Project Name	Project Budget	Previous Years	2021 Budget	2022	Future Years
Minor Capital / Equipment (\$200,000/yr)	800,000	200,000	200,000	200,000	200,000
<b>Total</b>	<b>800,000</b>	<b>200,000</b>	<b>200,000</b>	<b>200,000</b>	<b>200,000</b>

**Unfunded Projects:**

The following projects have resulted from planning and needs assessment studies or as identified by staff, community members, and elected officials. Funding has not been secured for these projects; however, possible funding sources are identified.

Project Name	Funding Sources	Est. Project Cost
Expansion Study Projects	Hotel Motel Tax	12,000,000
<b>Total</b>		<b>12,000,000</b>

## CEMETERY

### Description:

Over the past 10 years, improvements were implemented including the construction of a Niche Wall and new office and re-platting of several areas, removal of roadways and design of a new road to allow for more availability burial options, replacement of the Cemetery Office and renovation of the Clark Mausoleum. Additionally, rate adjustments have been made with the goal of helping to enhance revenues. However, even with the rate changes, overall revenues have not kept pace with the modest rate of increased expenditures and the Cemetery Fund has continued to rely on General Fund transfers in order to continue to operate.

The Cemetery capital plan includes additional improvements to the Home of Peace Mausoleum on Miller Street and the installation of additional facilities at the Cemetery including crypt walls, roadway drainage improvements, Veterans Section improvements and eventually opening of a new full interment section with double depth lots

### Unfunded Projects:

Project Name	Funding Sources	Est. Project Cost
Road Replacement	General Fund	185,000
Storm Water System	General Fund/Sotrm Water	350,000
Expansion Area Development	General Fund	225,000
Irrigation System Upgrade	General Fund	220,000
Shop/Greenhouse Replacement	General Fund	120,000
Cemetery Expansion - Niche walls etc.	General Fund	400,000
Area Identification and Interpretive Signs	DAHP Grant	25,000
<b>Total</b>		<b>1,525,000</b>

## HOMELESS/HOUSING/CDBG PROGRAMS

### Description:

The City of Wenatchee administers homeless and affordable housing programs on behalf of Chelan and Douglas Counties. Funding is received from three-four main sources:

1. The Chelan-Douglas Local Homeless Fund is generated through local document recording fees. Annual revenue fluctuates depending on the number of documents recorded in each county but averages approximately \$810,000/year.

2. The City of Wenatchee Low-Income Housing Fund is generated through local document recording fees in Chelan County. Annual revenue fluctuates depending on the number of documents recorded in the county but averages approximately \$40,000/year.
3. The Washington State Consolidated Homeless Grant is distributed by the Washington State Department of Commerce. This program distributes approximately \$685,000/year to the Chelan and Douglas county region.
4. The Emergency Solutions Grant is distributed by the Washington State Department of Commerce. The grant supports rental assistance and emergency shelter operations and distributes approximately \$795,000/year to the Chelan and Douglas county region.

The City typically passes these funds through to partner agencies that operate ~~social service~~ homeless service programs such as shelters, ~~food banks, rent assistance, counseling, and other similar program~~ transitional housing programs, permanent supportive housing programs, and street outreach. Occasionally, these funds help construct capital facilities and thus this description is included in the Capital Facilities Plan. At this time there is only one capital project ~~planned with these funding~~ funded through these sources. Catholic Charities Housing Services was awarded a four-year grant (\$724,000 total) to ~~develop a construct a~~ low-income housing complex that ~~will provide~~ s 31 designated permanent ~~supportive~~ housing units for ~~chronically homeless households with disabilities~~. However, with housing supply and costs being identified as a crisis, the city anticipates investment in additional housing as detailed in the Partnerships section of this plan. In addition, the City is currently pursuing new capital funding sources for the acquisition and development of a low-barrier emergency shelter facility. Funding has not been secured but, if successful, a capital development project could be initiated in 2021.

During 2014, the City performed a reserve analysis of this fund. The Homeless Task Force provides recommendations for expenditures of these funds and ~~they~~ agreed upon a reserve policy to account for the variability of revenues and to address emergency needs. The policy requires that \$250,000 be held in reserve. The reserve policy is \$250,000 in total of which \$150,000 ~~is held in reserve~~ is reserved to address variable revenues and \$100,000 is held for one-time emergency projects ~~for or needs for~~ providers. As an example, one-time expenses could be ~~used~~ for emergency capital ~~repairs~~ associated with a provider's facility~~ies~~. Capital investments for homeless services are rarely city owned, but are important to the provision of social services in the City.

**Funded Projects:**

The following projects are currently supported through the homeless program funds. For additional information, please refer to Appendix A for detailed project budget sheets.

Project Name	Project Budget	Previous Years	2021 Budget	2022	Future Years
Catholic Charities Housing Permanent Housing Complex	724,000	181,000	181,000	181,000	181,000
<b>Total</b>	<b>724,000</b>	<b>181,000</b>	<b>181,000</b>	<b>181,000</b>	<b>181,000</b>

**Community Development Block Grant (CDBG)**

In 2005, the City became a CDBG Entitlement Community. Federal funding for this program began to rise in 2014 after a period that saw a large decline in award funding. Funding leveled out around \$200,000

until 2018 ~~when an increase start and funding is now around \$240,000 with the 2019 and now 2020 years being \$238,184 and \$237,296; respectively. and 2019 saw a sizeable increase; \$242,260 and \$238,184 respectively. In addition, program income has been steadily received since 2017 providing close to \$150,000 over the last three years from the rehab loans distributed around 2010 time period.~~ Beginning in 2018, the program year changed from April 1 – March 31 to October 1 – September 30 each year. This allows Wenatchee’s Consolidated Plan and program year to align with that of both East Wenatchee and the Housing Authority. The new Consolidated Plan will be completed in the summer of 2020. CDBG funds are used for grant administration and staff time, public service programs, small-scale neighborhood revitalization projects, improvements to public facilities and large public infrastructure projects.

Funding is dedicated to supporting our low- and moderate-income residents with a focus being ~~utilized~~ in the South Central Wenatchee neighborhood where the highest amount of low- to moderate-income individuals live as well as where the highest rates of crime have been identified. Efforts are designed to enhance positive neighborhood attributes and discourage the challenges the neighborhood faces from expanding. The City has successfully leveraged CDBG funding for Safe Routes to School projects and coordinates efforts to align with the “Five-Year Plan to Reduce Homelessness in Chelan & Douglas Counties” around housing needs.

~~In 2014, The Chelan Avenue Sidewalk Project began and will be fully constructed by the end of the 2018 program year (September 2019). This project included sidewalk, pedestrian scale lighting, public art, landscaping and traffic calming elements.~~

In order to complete a required Affirmatively Furthering Fair Housing (AFFH) Assessment of Fair Housing (AFH) Plan as a component of the Consolidated Plan Update in the most cost effective and collaborative way, the 2013-2017 Consolidated Plan was extended by two year (2013-2019). This allows the City of Wenatchee to create a regional plan in partnership with the City of East Wenatchee and the Housing Authority of Chelan County and the City of Wenatchee. Efforts are underway with the Consolidated Plan being completed in the ~~summer of 2020~~ March 2021.

As a result of COVID-19, the CDBG program has received funding specifically targeted towards pandemic response in the amount of two payments that total \$367,381; installments of \$139,593 and \$227,788.

The following table illustrates a list of projects consistent with the recently extended 2013-2019 Consolidated Plan. This projection assumes available CDBG funding and all capital projects are outlined in each year’s respective Annual Action plan. Identified in this plan are programs and projects such as infrastructure, parks and/or economic and community development.

#### **Funded Projects:**

Due to the pandemic environment, the 2020-2024 Consolidated Process has been extended and therefore priority projects have not yet been identified. The following projects are funded and are either under way or will be underway in the near future. For additional information, please refer to Appendix A for detailed project budget sheets.

Project Name	Project Budget	Previous Years	2020 Budget	2021	Future Years
Community Center Upgrades	200,000	-	200,000	-	-
CDBG Consolidated Plan	50,000	-	50,000	-	-
<b>Totals</b>	<b>250,000</b>	<b>-</b>	<b>250,000</b>	<b>-</b>	<b>-</b>

**Unfunded Projects:**

The following projects have resulted from planning and needs assessment studies or as identified by staff, community members, and elected officials. Funding has not been secured for these projects; however, possible funding sources are identified. Funding sources include both the CDBG Grant and additional public/private funders.

Project Name	Funding Sources	Est. Project Cost
CDBG Consolidated Plan	CDBG Funds	1,100,000
<b>Total</b>		<b>1,100,000</b>

Project Name	Funding Sources	Est. Project Cost
Public Facilities	2020 CDBG Grant and additional public/private sources	1,000,000
Public Infrastructure	2020 CDBG Grant and additional public/private sources	1,000,000
<b>Total</b>		<b>2,000,000</b>

\*allocation includes additional resources (public and private) identified in the narrated CFP

## ECONOMIC DEVELOPMENT

### LOCAL REVITALIZATION FINANCING DISTRICT – WENATCHEE WATERFRONT

**Description:**

The city adopted the waterfront subarea plan in 2004. This redevelopment and revitalization plan focuses on changing the character of the waterfront to compliment the waterfront parks through mixed use development. The city has been very active in furthering this plan ~~over the last 15 years~~ through the investment in public infrastructure. ~~With recent private investment, momentum is growing on the waterfront.~~ The city continues to advocate for the development of the waterfront and furtherance of the objectives of the plan.

The City was awarded a state rebate in 2009 presenting opportunities to fund and complete additional projects on the waterfront utilizing the State Local Revitalization Financing (tax increment financing) program. ~~These projects must be used for public improvements that stimulate economic growth within the District.~~ In concert with this award, ordinance 2009-26 established the local revitalization district (District) entitled “Wenatchee Waterfront” which includes the area bounded by the Columbia River to the

east and the railroad tracks and Walla Walla Avenue to the west. The District is bounded by Thurston Street to the South and Walla Walla Park to the North. These projects must be used for public improvements that stimulate economic growth within the District. The ordinance was amended in 2013 with ordinance 2013-14 to add eligible projects. It is anticipated that the ordinance will need to be modified again to accomplish other projects identified in the waterfront subarea plan or projects that arise that will directly support redevelopment. Several projects associated with the Pybus Market Charitable Foundation, Port of Chelan County, and the Chelan County PUD have already been completed and the City is currently using LRF proceeds to pay down associated debt. Projects completed to date include the Wastewater Treatment Plant odor and visual mitigation, the Pybus Public Market, purchase of the property underlying the Pybus Market, parking behind the public market, improvements to the PUD access road, park expansion at the former Public Works site, improvements to Worthen Street, the Worthen/Orondo stairs project, the Orondo Street plaza, the Ninth Street Parking Lot. and purchase of the property underlying the Pybus Market. The sales tax annual rebate of up to \$500,000 will be received by the City until year 2037. The rebate may only be used to pay for debt on public improvement projects. The City issued a General Obligation Bond prior in 2016 to refinance and maximize the use of LRF funds. Some of the following projects are taken from directly from the waterfront subarea plan if they can be used to incentivize redevelopment. Other projects have been developed based on needs that have arisen due to successful development, such as parking around the Pybus Market area. This parking will be needed to has been instrumental in furthering economic growth in the South Node with the addition of the Hilton on the former Public Works property in 2019. Included in the list of projects is a development support fund that could be used for public private partnerships where public improvements are needed utilizing pay as you go property tax increment that will continue to be revenue for the District after all the bond proceeds have been expended. The LRF statutes authorize expenditures of local increment broadly in support of redevelopment.

**Funded Projects:**

The following projects are funded and are either under way or will be underway in the near future. For additional information, please refer to Appendix A for detailed project budget sheets.

Project Name	Total Project Budget	Previous Years	2021 Budget	2022	Future Years
1802 - Waterfront Parking/Rail Spur Removal	1,200,000	11,800	-	1,188,200	-
1905 - Gateway Project/Worthen St.	550,000	65,000	485,000	-	-
Gateway Fifth Street Underpass	2,050,000	-	50,000	-	2,000,000
Walla Walla Ped. Connections.	50,000	-	-	50,000	-
Development Support - Pay as you go	300,000	-	-	-	300,000
<b>Total</b>	<b>4,150,000</b>	<b>76,800</b>	<b>535,000</b>	<b>1,238,200</b>	<b>2,300,000</b>

**ECONOMIC DEVELOPMENT/ PARTNERSHIP PROJECTS**

**Description:**

Economic Development is identified in the Comprehensive Plan as a community goal to enhance the quality of life of citizens. In addition, the Wenatchee Valley serves as a regional commerce hub for North Central Washington and portions of the Columbia Basin. Beginning early in 2000, the City began to see major sales tax generators either moving out of the city or locating primarily in East Wenatchee and Douglas County. Most of the growth for these large sales tax generators is expected to occur where land

is plentiful outside the City limits. As a result economic development efforts have become a focus of the City in order to sustain public services and to shape our community as the city experiences dynamic growth over the next 10 -15 years. Wenatchee is one of many cities ~~that is~~are targeting economic development through public private partnerships and/or through strategic investments from public agencies working together. The Pybus Public Market is a great example of a partnership project. From time to time, there may be a need to cooperate on community facilities or economic development projects that provide a regional benefit or projects that fall outside of the traditional infrastructure projects anticipated for a City. For example, with the 2017 tax act, opportunity zones were created to replace the New Market Tax Credit system. Opportunity zones are designed to spur investment in designated low income tracts. Wenatchee was awarded two opportunity zones which includes all of downtown and south Wenatchee. Public private partnerships are anticipated to accompany investments using the Opportunity Zones. A number of the projects listed below are located in opportunity zones.

1. The City, in partnership with the Federal Highways Administration and Washington State Department of Transportation formally initiated NEPA for Confluence Parkway in 2019. This effort is required to further the project and secure funding as outlined in the Chelan Douglas Transportation Council and City Transportation Plans. NEPA is anticipated to be completed through development of an Environmental Assessment which will identify mitigation measures for environmental impacts. The city is funding \$~~2.23~~ M for this effort including ~~past~~ funds from received from the State of Washington, ~~and funds anticipated from~~ Link Transit, the Chelan-Douglas Regional Port, and Chelan County Public Utilities District.
2. The City ~~is~~ partnered with WSU to perform an Integrated Planning Grant funded by the Department of Ecology for approximately 9 acres of property ~~scheduled to be sold~~ at the WSU Treefruit Research and Extension Center located at the corner of Western and Springwater Avenues. The objective of the grant ~~was~~ to determine if the property is encumbered by contamination and develop a plan for the property that considers housing that would support research and education related jobs in our valley. Lead Arsenic contamination was found on the site and thus opportunities are available through the Department of Ecology to support cleanup and housing projects. This project is intended to help further a 4 year university presence in the Wenatchee Valley through investment in the WSU Treefruit Research and Extension Center. The project is also coordinated closely with the Our Valley Our Future game changer, the Bridge Innovation District. Given housing is a critical need for professionals, students, researchers, and interns, this project has the potential of providing critical housing in proximity to the WSU campus. The City anticipates facilitating a project through facilitating cleanup of the site and development of approximately 100 units of housing. No general fund expenditures are expected; however, grant resources and partnerships with organizations such as the housing authority may provide the opportunity for facilitation of this project.
3. During 2016, the City invested \$15,000 on behalf of the region to address a burgeoning housing crisis. The study found that there is a lack of market rate housing stock and a housing mismatch in terms of housing sizes. The result of this deficiency is inflated housing prices and down renting which is placing considerable pressure on units that should be affordable. Thus, the study recommended a number of actions to help facilitate the construction of both market rate housing and affordable housing. Investing in capital improvements identified in this plan is recommended to increase the supply of readily developable land. The city anticipates using the general fund and utilities to assist in preparing infrastructure to support development of ~~housing~~ market rate and



affordable housing. Market rate housing is easier to achieve in the short-term and is a benefit for all housing affordability ranges. Longer range efforts are also needed to support the development of subsidized and affordable housing stock. Partnerships with non-profit entities that utilize State and Federal tax credits and incentives create the best opportunities for developing projects that will supply ~~100 units or~~ more of housing.

4. The city entered into a public private partnership with Mission and Kittitas Apartments, LLC through a development agreement in 2019 to provide approximately 225 market rate housing units in a 5 levels of housing over 2 levels of parking format. The city agreed to lease 100 stalls of parking for public purposes to support parking in downtown and housing development for the economic health and vitality of downtown and South Wenatchee. This project will also serve as one of the first transit oriented development projects given its proximity to Columbia Station. The city lease will beginning in 2023 or 2024 after the project is complete.
  
5. The City works closely with the Wenatchee Downtown Association implementing projects in the adopted Central Business District subarea plan which have included improvements to downtown parking, streetscape (LID), utility improvements, truck traffic re-rerouting, bike facility, public space improvements, the development of a new ~~workforce~~ housing project (Weidner Mission and Kittitas Apartments, LLC), redevelopment of the vacant upper stories of historic buildings, improvements to the Convention Center as discussed earlier and development of connections to the South Node of the Waterfront. Parking continues to be the biggest management issue in order to realize a revitalized downtown area. As a result, the City performed a downtown parking study in 2016. This parking study analyzed existing parking capacity, usage, and current opportunities to better utilize parking. The study also identified management strategies for areas of surplus supply and deficiencies of parking in the downtown and South node of the waterfront. In general, the plan identified a surplus of parking in the study area equating to approximately 1,500 stalls. At the same time, the study illustrated a need for additional parking in the area of the Convention Center and Public Market due to high peak demands. ~~In order to improve the vitality of downtown, t~~he study suggests the city focus on management of the on street system and encourage redevelopment of surface lots to increase business activity until ~~the sweet spot of 70-85% utilization rates are achieved. Over the long term, it is the goal to improve vitality and the demand for parking to warrant construction of parking garages rather than using surface parking for employees and residents, while the on street system is focused to serve customers and visitors.~~ This means that the city will need to maximize on-street parking and discourage surface lots. This plan identifies a funding estimate to increase on street supply and additional funding for off street parking for city employees within the Police Station and City Hall in the General Facilities Section. ~~This plan also includes parking expansion near Pybus in the LRF section of the plan.~~ Partnership projects will likely arise in the development of public private partners for shared parking of underutilized city and private parking lots.
  
6. A long term goal of the City has been to facilitate ~~the~~ relocation of the Burlington Northern Santa Fe (BNSF) switch terminal located at the intersection of Columbia and Thurston Streets to the Appleyard. ~~Recent D~~evelopment of the Pybus Public Market has demonstrated to the community the importance of this project. Presently, BNSF uses the terminal to service trains with crew changes. During periods of train service, trains park on the tracks often for periods of more than one hour at a time. In 2013, the Orondo crossing was monitored for several days to verify train patterns. Upon discussion with BNSF staff, train traffic is expected to increase with



the improving economy. With increased activity on the waterfront and these blockages of specifically the Orondo and Ninth Street crossings, there is a community desire to address the problem. The Chamber of Commerce, Wenatchee Downtown Association, and Pybus Market requested that the City take a closer look at relocation options. In 2014, the City partnered with Chelan County, Chelan County Port District, Link Transit, the Chelan Douglas Transportation Council, Wenatchee Downtown Association, Wenatchee Valley Chamber, and the Pybus Market to raise \$35,000 for a relocation study. BNSF presented the results of this study in March of 2015. The study provided results that were different from originally anticipated in that it recommended moving the switching operation to a new 22,500 foot siding in Malaga. The total cost of this project is estimated at \$32 Million. This revised outcome not only accomplishes the original goal of preventing blockage of the crossings in Wenatchee, but also addresses access problems along the Malaga Waterfront. This project could have the added benefit of opening up 190 acres for development in Malaga. ~~Through working with Chelan County and the Transportation Council,~~ Another option may be to relocate the facility to Douglas County near the Mouth of Moses Coulee in partnership with Chelan County and the Transportation Council. It is noted that BNSF is interested in this project and has been a proactive partner.

7. During the summer of 2015, the Sleepy Hollow Fires burned 3 major industrial facilities in North Wenatchee. In order to facilitate the best redevelopment opportunities, the City developed a Master Plan for approximately 50 acres of the impacted area during 2016. This area also includes the 7.5 acre Washington State Department of Transportation (WSDOT) Administrative offices property scheduled to be vacated in the spring of 2018. The Master Plan identifies road and utility work totally \$37 Million which will enable an estimated \$245 Million in private investments including up to 850 residential units, office, light industry flex space, and retail space along Wenatchee Avenue. The city has been working to secure properties and right of way through early acquisition to facilitate redevelopment in the area. Community Economic Revitalization funding was received to establish the McKittrick Street right of way in partnership with Stemilt growers and location of the Diamond Foundry. ~~After right of way is secured,~~ the city will sell remnant properties to encourage private investment. In addition, the city will pursue funding for major elements of this work and anticipates submitting for a Federal Grant that will tie North Wenatchee Avenue improvements in with Confluence Parkway. Note that most of the infrastructure work associated with this redevelopment is identified in other sections of this plan.
8. A national campaign to develop makerspaces to foster innovation in manufacturing and promote workforce development has been underway since the Mayor entered the National Mayor's Maker Challenge in 2015. In 2019, the city engaged in a National Recreation to Technology challenge in 2019 to help facilitate how to develop makerspaces in Wenatchee through ~~utilization of the Community Center and to shore up~~ community partnerships. This effort was made in partnership with the Pinnacles Prep. Charter School, the Wenatchee Public Library, GWATA, and other partners. While makerspaces are not typically owned and operated by cities, the capitalization requirements for the development of a space may require a public private partnership. The City may also help facilitate the acquisition of grants to help develop and achieve this emerging goal. ~~and an outcome of the Rech to Tech challenge may be for the city to help facilitate the building of a makerspace and community kitchen at the Community Center to improve the financial viability and usability of the center consistent with the South Wenatchee Plan.~~

- In October of 2012, a Sustainable Design Assessment Team sponsored by the American Institute of Architects visited South Wenatchee to perform an assessment and make ~~unbiased~~ recommendations of what could be done to improve South Wenatchee. The team developed a report suggesting transportation improvements, public art ideas, neighborhood enhancements, and economic redevelopment suggestions. The community followed this process with the development of a subarea plan. The South Wenatchee Action plan was completed in 2016 and adopted in 2017 as part of the city’s Comprehensive Plan. The priorities in the plan include basic infrastructure around sidewalks, lighting, and parks. In addition, the plan includes a number of elements to grow and improve the South Wenatchee business district, such as extension of the Columbia River Pipeline Bridge and connection to the Apple Capital Loop Trail. Another example is the development of a food truck plaza honoring the cultural diversity in South Wenatchee. This section of the plan includes by reference a number of projects that support workforce development, entrepreneurship, education, business growth, and investment in this portion of the city. The city’s purchase of a portion of the Federal Building to house City Hall is an example of one such project.

The following table capture potential city partnership matches to projects that are already included in the preceding sections of this plan to avoid double counting projects.

**Funded Projects:**

The following projects are funded and are either under way or will be underway in the near future. For additional information, please refer to Appendix A for detailed project budget sheets.

Project Name	Total Project Budget	Previous Years	2021 Budget	2022	Future Years
1712 - North Wenatchee Redevelopment	11,323,098	10,323,098	1,000,000	-	-
1804 - Confluence Parkway NEPA	2,915,000	1,900,000	705,000	310,000	-
Mission & Kittitas Downtown Housing/Parking	350,000	-	-	-	350,000
<b>Total</b>	<b>14,588,098</b>	<b>12,223,098</b>	<b>1,705,000</b>	<b>310,000</b>	<b>350,000</b>

**Unfunded Projects:**

The following projects have resulted from planning and needs assessment studies or as identified by staff, community members, and elected officials. Funding has not been secured for these projects; however, possible funding sources are identified.

Project Name	Funding Sources	Est. Project Cost
WSU - Bridge Innov. Dist. Housing	State Affordable Housing, Dept. of Ecology, Public Private Partnership	25,000,000
Downtown Housing Projects	State Affordable Housing Funds, Public Private Partnership	2,000,000
Downtown Parking/Garages	Parking Revenues, LID, General Fund, Public Private Partnerships	3,000,000
Burlington Northern Terminal Relocation	Federal Grants, BNSF	32,000,000
North Wenatchee Master Plan Infrastructure	State grants and loans, public private partnerships	2,000,000
South Wenatchee Subarea Plan	State and Fed. Grants, Gen. Fund, Util, Community Grants, Other	5,000,000
<b>Total</b>		<b>69,000,000</b>

## CONCLUSIONS AND RECOMMENDATION

The total value of the capital improvements identified in this plan is over \$640 Million. The distribution of identified needs make it difficult to prioritize where the limited funds the city has for capital should be applied. The city has historically relied on grants for much of the infrastructure especially related to road, parks, and economic development related improvements, and has been very successful in obtaining them. General facilities maintenance capital and new facilities are the hardest to fund and often require issuance of bonds or the use of reserves to make improvements. As the city looks forward, its continued creativity and use of tools such as tax increment financing, private partnerships, tax credit incentive programs, and local tax options will continue to be needed. Having a good understanding of public policy, developing implementation plans, and being highly proactive in discovering and using these tools will help address the city's capital needs. It is the intent of this capital facilities plan to prioritize and look for creative solutions to support the City's Urban Area Comprehensive Plan and stay concurrent with the governing laws of the city, state, and nation.

APPENDIX A - FUNDED PROJECT BUDGET SHEETS

## APPENDIX B - SIX YEAR TRANSPORTATION PLAN

# STAFF REPORT

**TO:** City of Wenatchee Planning Commission  
**FROM:** City of Wenatchee Community Development Staff  
**DATE:** November 10, 2020  
**RE:** CPRZ 20-01

## I. REQUESTED ACTIONS

Conduct a public hearing and formulate a recommendation to the City Council on the application for a site-specific comprehensive plan map amendment and rezone of approximately 18.4 acres from Residential Single-family designation to Residential Low and approximately 1.6 acres of Residential Low to the Neighborhood Commercial designation. The application is included as Exhibit A. Staff has prepared an updated map depicting district boundary lines that do not follow future property lines that are subject to change as the subdivision is developed. See Exhibit B.

## II. SITE INFORMATION

Applicant/Owner: Triad Maple, LLC, Beaconsfield Associates, Beaconsfield Associates II, LP, and Barton Clennon and Sheila Clennon

Location: Generally located at the west terminus of Maple Street and west of the irrigation canal. Also known as Assessor's Parcel Nos.: 232032420905, 232032130300, 232032420800, 232032420900, 232032240000. See Exhibit A for proposed map amendments.

## III. ENVIRONMENTAL REVIEW

The City of Wenatchee has determined the proposed map amendments will not have probable significant adverse impacts on the environment. The City of Wenatchee has issued a determination of non-significance (DNS) on September 18, 2020. Notice of the environmental determination was made on September 18, 2020 with comments due by November 18, 2020.

## IV. PUBLIC PROCESS

- The application was received by the City of Wenatchee on April 20, 2020.
- The Planning Commission conducted public workshops on the proposed map amendments on July 15, 2020 and August 19, 2020. The applicant made a presentation to the Planning Commission at the July 15, 2020 meeting.
- The amendments and environmental documents have been posted on the City of Wenatchee website during the public comment and environmental review periods.
- Notice of the environmental determination/request for comments, and hearing notice were made on September 18 2020 with comments due by November 18, 2020.
- Written notice of the application was sent to surrounding property owners on September 18, 2020.

- Concurrent with the notices provided for the proposed amendments, copies of the environmental documents were sent to the Department of Ecology SEPA Register; and the City of Wenatchee provided formal notice to the Washington State Department of Commerce of the intent to adopt amendments to the City of Wenatchee Urban Area Comprehensive Plan and City of Wenatchee Zoning Map and initiation of the 60-day review and comment period.
- The City Council conducted a public workshop on the proposed application on October 15, 2020.

## V. AGENCY AND PUBLIC COMMENTS:

No comments have been submitted at this time.

## VI. PROJECT ANALYSIS

Comprehensive plan amendment and rezone applications are processed as a Type IV Legislative review pursuant to WCC 13.09.060 which requires a public hearing before the City of Wenatchee Planning Commission and City Council. The application to amend the comprehensive plan has been docketed, consistent with the annual amendment schedule and will be considered during the annual amendment process, pursuant to WCC 10.05.020(6).

Applications to amend the comprehensive plan land use map and official zoning map must be consistent with the goals and policies of the City of Wenatchee Urban Area Comprehensive Plan.

### Urban Growth Element

**GOAL 1. URBAN GROWTH AREA – *Promote a compact urban form that encourages infill and discourages sprawl within a well-defined boundary.***

**Policy 1:** Discourage development on the hillsides surrounding the city to preserve open space and public safety.

**Policy 3:** Urban growth shall occur within urban growth boundaries where adequate public utilities and services exist or can be provided in an efficient manner.

*Goal Consistency: The proposed district boundary amendments between the RS and RL are located at the base of the steeper portions of the property. The additional flexibility in housing density and types on more level ground will discourage development on the hillsides. The site has an approved development agreement and preliminary subdivision approval to ensure that all urban services will be provided to the development.*

*The proposed neighborhood commercial area supports the compact urban form of the proposed new development. Street and utility infrastructure have been planned to meet the needs and demands of the potential uses.*

**GOAL 5. INFILL – Promote infill opportunities within the urban area.**

**Policy 4:** Consideration will be given to the neighborhood in determining acceptable intensity and character of infill and redevelopment.

*Goal Consistency: The site has an approved development agreement and preliminary subdivision approval to ensure the provision of all urban services, and establishes a development pattern that include a variety of housing types including single-family cluster, alley-loaded single family, courtyard housing, and townhomes. Maple Street and its extension through the foothills are designated on the comprehensive plan transportation circulation map as collector streets. The function of collector streets is to collect traffic from residential areas and connect them to principal and mirror arterials.*

*The proposed neighborhood commercial area supports the compact urban form of the proposed new development. Street and utility infrastructure have been planned to meet the needs and demands of the potential uses.*

**GOAL 6. COMMERCIAL DISTRICTS – Work to promote distinct commercial and business districts to serve citizens and visitors of our city.**

**Policy 4:** Provide opportunities for expansion of existing or new neighborhood commercial areas to better serve neighborhoods.

*Goal Consistency: The site has an approved development agreement and preliminary subdivision approval to ensure the provision of all urban services, and establishes a development pattern that include a variety of housing types including single-family cluster, alley-loaded single family, courtyard housing, and townhomes as well as a commercial area. Maple Street and its extension through the foothills are designated on the comprehensive plan transportation circulation map as collector streets. The function of collector streets is to collect traffic from residential areas and connect them to principal and mirror arterials.*

*The proposed neighborhood commercial area supports the compact urban form of the proposed new development. Street and utility infrastructure have been planned to meet the needs and demands of the potential uses.*

*There are no other neighborhood commercial areas north of 5<sup>th</sup> and Western. The proposed neighborhood commercial area will serve the growing area north and west of existing and new development projects. The added, though limited, commercial services will provide an opportunity for local neighborhoods to access limited commercial services without traveling to N. Wenatchee Avenue or to other commercial areas. See Exhibit C for a map of existing neighborhood commercial areas in the City.*



**GOAL 12. RESIDENTIAL DEVELOPMENT – *Promote increasingly attractive neighborhoods with convenient access to services.***

**Policy 1:** Promote higher densities along major corridors and in existing neighborhoods already characterized by density.

**Policy 2:** Discourage lower density development on flat, easily developed ground.

**Policy 3:** Enhance Wenatchee’s residential neighborhoods with more services, open space, and pedestrian/bicycle improvements to support appropriate infill development.

**Policy 5:** Adopt more flexible design standards for residential development that will permit the construction of different housing types compatible with surrounding neighborhoods.

**Policy 6:** New non-residential development in existing residential neighborhoods should be designed (landscaping and building design) and operated (traffic, noise, lighting, hours) to be compatible with the existing neighborhood. Compatibility for design can take the form of guidelines which objectively define a range of acceptable neighborhood non-residential building types and architectural details.

*Goal Consistency: The site has an approved development agreement and preliminary subdivision approval to ensure the provision of all urban services, and establishes a development pattern that include a variety of housing types including single-family cluster, alley-loaded single family, courtyard housing, and townhomes as well as a commercial area. Maple Street and its extension through the foothills are designated on the comprehensive plan transportation circulation map as collector streets. The function of collector streets is to collect traffic from residential areas and connect them to principal and mirror arterials.*

*The proposed district boundary amendments between the RS and RL are located at the base of the steeper portions of the property. The additional flexibility in housing density and types on more level ground will discourage development on the hillsides.*

**GOAL 13. CANYONS AND FOOTHILLS – *Conserve open space in the foothills surrounding the city and ensure appropriate development in the canyons.***

**Policy 1:** New residential development at the edge of the urban growth area should not impact the open qualities of the hillsides or disrupt the small-scale qualities of existing neighborhoods.

*Goal Consistency: The site has an approved development agreement and preliminary subdivision approval to ensure the provision of all urban services, and establishes a development pattern that include a variety of housing types including single-family*

cluster, alley-loaded single family, courtyard housing, and townhomes as well as a commercial area. The proposed district boundary amendments between the RS and RL are located at the base of the steeper portions of the property. The additional flexibility in housing density and types on more level ground will discourage development on the hillsides.

**Comprehensive Plan implementation matrix:**

District	Primary Uses	General Development Standards
<b>Residential Single Family</b>	<p><b>Primary Uses:</b></p> <ul style="list-style-type: none"> <li>▪ Single Family and compatible very low-density development.</li> </ul> <p><b>Secondary Uses:</b></p> <ul style="list-style-type: none"> <li>▪ Accessory Dwelling Units</li> <li>▪ Agricultural uses</li> <li>▪ Home based business</li> </ul>	<ul style="list-style-type: none"> <li>▪ Very low density residential suited for outlying areas taking into consideration topography and foothills aesthetics.</li> <li>▪ Density: Up to 6 units per acre</li> <li>▪ Height: 30ft</li> </ul>
<b>Residential Low</b>	<p><b>Primary Uses:</b></p> <ul style="list-style-type: none"> <li>▪ Compatible blended low density housing</li> </ul> <p><b>Secondary Uses:</b></p> <ul style="list-style-type: none"> <li>▪ Accessory Dwelling Units</li> <li>▪ Agricultural uses</li> <li>▪ Home based business</li> </ul>	<ul style="list-style-type: none"> <li>▪ Low density residential development</li> <li>▪ Density: Up to 8 units per acre</li> <li>▪ Height: 30ft</li> </ul>

<b>Neighborhood Commercial</b>	<p><b>Primary Uses:</b></p> <ul style="list-style-type: none"> <li>▪ Neighborhood services, such as banks, convenience store, bakery, coffee, book stores</li> </ul> <p><b>Secondary Uses:</b></p> <ul style="list-style-type: none"> <li>▪ Residential uses</li> </ul>	<ul style="list-style-type: none"> <li>▪ Neighborhood commercial zone intended to provide services at a neighborhood level</li> <li>▪ Design controls for ground floor residential uses</li> <li>▪ Height: 35ft</li> </ul>
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*Consistency: The RS and RL are similar in nature, with the primary difference being the allowable density of an additional two (2) dwelling units per acre and additional housing types such as townhomes. The subject property is already characterized by both the RS and RL designations. The expansion of the RL on the more level areas is consistent with the urban growth element and implementation criteria of the plan. The approved development agreement envisioned the potential for townhomes on portions of the property in an effort to provide additional housing options and in-fill opportunities.*

*The proposed neighborhood commercial designation is intended to provide commercial services at a neighborhood level. The site is centrally located within a large (167 acre/450 dwelling unit) development and on a collector street. The new neighborhood commercial designation is consistent with the intent of the comprehensive plan to improve access to neighborhood services at a pedestrian scale.*

## TRANSPORTATION ELEMENT

**GOAL 3: PEDESTRIANS, BICYCLES & TRANSIT – Provide a mix of transportation options that better meets the changing needs and preferences of Wenatchee residents.**

Policy 2: Improve and maintain pedestrian connections between residential, employment, service, and recreation centers. Give priority consideration to school walking routes and access to transit.

*Goal Consistency: The integration of a neighborhood commercial site within a large master planned development that includes sidewalks and a hiking trail system will encourage residents to walk or cycle to the commercial services provided in the commercial area.*

**GOAL 4: FOOTHILLS AND CANYONS – Ensure adequate emergency access into and out of foothills communities. Improve circulation by increasing connectivity within, between, and to neighborhoods.**

**Policy 2:** Develop secondary access to Broadview in accordance with Broadview Secondary Access Impact Fee Technical Memorandum dated February 2011 and implementing Resolution 2011-29 and Resolution 2011-30.

*Goal Consistency: While this proposed amendment does not on its own aid in the development of the secondary access to Broadview, the approved development agreement and preliminary subdivision work together to provide this additional access and the start of the foothill's street network.*

## HOUSING ELEMENT

**GOAL 1: HOUSING AFFORDABILITY - Encourage the availability of affordable housing to all economic segments of the population.**

**Policy 1:** Develop and implement regulations that allow targeted densities to be achieved with reasonable likelihood while mitigating potential negative impacts.

**Policy 3:** Promote residential development of infill sites throughout the urban area by increasing densities where appropriate.

*Goal Consistency: The additional RL land will provide additional opportunity for the property owner to develop a variety of housing types while still minimizing the impact to the foothills and providing a full range of urban utilities and services. The addition of the neighborhood commercial area will also provide added benefits without requiring residents to leave the neighborhood.*

**GOAL 3: HOUSING MIX & DENSITY – *Provide an adequate distribution of housing types consistent with land constraints and changing market demographics and preferences.***

**Policy 1:** Expand housing options to better reflect changing market demographics. This may include, but not be limited to, additional studio or one-bedroom rental units.

**Policy 7:** Two thirds of the housing units in the Wenatchee area have three or more bedrooms while 60% of Wenatchee’s households only have one or two members. Increase housing opportunity from the current 11% of supply for single bedroom or studio units to better meet the needs of the majority of Wenatchee’s households.

*Goal Consistency: The proposed rezone will facilitate the provision of 1 bedroom and 2-bedroom unit types through the additional density and ability to develop townhomes.*

**VII. STAFF RECOMMENDATION**

Staff recommends approval of the site-specific comprehensive plan map amendment and rezone application, CRPZ-20-01, based upon the suggested findings of fact and conclusions of law enclosed at the conclusion of the staff report.

**VIII. SUGGESTED FINDINGS OF FACT AND CONCLUSIONS OF LAW**

Suggested Findings of Fact:

1. The City of Wenatchee has adopted the Wenatchee Urban Area Comprehensive Plan and a series of sub-area comprehensive plans pursuant to the Growth Management Act (GMA), RCW Chapter 36.70A, which cover the Wenatchee Urban Growth Area and all incorporated areas within the City of Wenatchee, that have been found to be consistent with each other and with the adopted GMA plans of the adjoining jurisdictions.
2. The City of Wenatchee Planning Commission is responsible for long range planning matters and providing implementation recommendations to assure compliance with the Growth Management Act for the City of Wenatchee Urban Growth Area in coordination with Chelan County and within the incorporated boundaries of the City of Wenatchee. These measures include updates and amendments to the comprehensive plan; development regulations, environmental regulations, and any other rules, actions or regulations deemed necessary to implement the Growth Management Act.
3. Copies of the environmental documents were sent to the Department of Ecology SEPA Register on September 18, 2020.
4. Notice of the public 60-day review and comment period, and public hearing dates were published in the Wenatchee World on September 18, 2020.
5. On September 18, 2020, the City of Wenatchee provided formal notice to the Washington State Department of Commerce of the intent to adopt amendments to

the City of Wenatchee Urban Area Comprehensive Plan and development regulations and initiation of the 60-day review and comment periods.

6. The City of Wenatchee Planning Commission has reviewed the entire record including the goals and policies of the comprehensive plan and public testimony as it relates to the proposed amendments to the Wenatchee Urban Area Comprehensive Plan.
7. The City of Wenatchee issued a determination of non-significance (DNS) on September 18, 2020.
8. The goals and policies from the Wenatchee Urban Area Comprehensive Plan identified under Section VI. Project Analysis of this staff report, are hereby incorporated as findings herein. These policies demonstrate consistency with the comprehensive plan and support the proposed amendments to the City of Wenatchee Urban Area Comprehensive Plan land use map and official zoning map.

#### Suggested Conclusions of Law:

1. The procedural and substantive requirements of the State Environmental Policy Act have been complied with.
2. The procedural requirements of RCW 36.70A have been complied with.
3. The proposed amendments are consistent with the Chelan County Countywide Planning Policies and the City of Wenatchee Urban Area Comprehensive Plan.
4. The proposed amendments are consistent with the requirements of Revised Code of Washington, and the Washington Administrative Code.
5. The proposed amendments have been reviewed and processed in accordance with the requirements of Title 10 Zoning, Title 12 Environmental Protection, and Title 13 Administration of Development Regulations of the City of Wenatchee Code.

#### Attachments:

Exhibit A: CPRZ-20-01 Application

Exhibit B: Staff revised boundaries

Exhibit C: Neighborhood commercial areas in the City

# Exhibit A

**DETERMINATION OF NONSIGNIFICANCE  
ISSUED BY  
CITY OF WENATCHEE COMMUNITY DEVELOPMENT DEPARTMENT**

**Description of proposal:** A site-specific comprehensive plan map amendment and rezone of approximately 18.4 acres from Residential Single-family designation to Residential Low and approximately 1.6 acres of Residential Low to the Neighborhood Commercial designation.

**Proponent:** Triad Maple, LLC

**Location of proposal:** The project is located at the west terminus of Maple Street and west of the irrigation canal and includes Assessor's Parcel Nos.: 232032420905, 232032130300, 232032420800, 232032420900, 232032240000 in the City of Wenatchee, Chelan County.

**Lead Agency:** City of Wenatchee Community Development Department

The lead agency for this proposal has determined that it does not have a probable significant adverse impact on the environment. An environmental impact statement (EIS) is not required under RCW 43.21C.030(2)(c). This decision was made after review of a completed environmental checklist and other information on file with the lead agency. This information is available to the public on request.


There is no comment period for this DNS

This DNS is issued after using the optional DNS process in WAC 197-11-355. There is no further comment period on this DNS.

This DNS is issued under WAC 197-11-340(2); the lead agency will not act on this proposal for 14 days from the date below. Comments must be submitted by 5:00 p.m. on March 10, 2020.

<b>Responsible Official:</b>	Glen DeVries, AICP	<b>Phone:</b> 509.888.3252
<b>Position Title:</b>	Community Development Director	
<b>Contact Person:</b>	Stephen Neuenschwander	<b>Phone:</b> 509.888.3285
<b>Position Title:</b>	Planning Manager	
<b>Address:</b>	1350 McKittrick St. Wenatchee, WA 98801	

**Date:** September 18, 2020

**Signature:** 

# **SEPA ENVIRONMENTAL CHECKLIST**

UPDATED 2014

## ***Purpose of checklist:***

Governmental agencies use this checklist to help determine whether the environmental impacts of your proposal are significant. This information is also helpful to determine if available avoidance, minimization or compensatory mitigation measures will address the probable significant impacts or if an environmental impact statement will be prepared to further analyze the proposal.

## ***Instructions for applicants:*** [\[help\]](#)

This environmental checklist asks you to describe some basic information about your proposal. Please answer each question accurately and carefully, to the best of your knowledge. You may need to consult with an agency specialist or private consultant for some questions. You may use "not applicable" or "does not apply" only when you can explain why it does not apply and not when the answer is unknown. You may also attach or incorporate by reference additional studies reports. Complete and accurate answers to these questions often avoid delays with the SEPA process as well as later in the decision-making process.

The checklist questions apply to all parts of your proposal, even if you plan to do them over a period of time or on different parcels of land. Attach any additional information that will help describe your proposal or its environmental effects. The agency to which you submit this checklist may ask you to explain your answers or provide additional information reasonably related to determining if there may be significant adverse impact.

## ***Instructions for Lead Agencies:***

Please adjust the format of this template as needed. Additional information may be necessary to evaluate the existing environment, all interrelated aspects of the proposal and an analysis of adverse impacts. The checklist is considered the first but not necessarily the only source of information needed to make an adequate threshold determination. Once a threshold determination is made, the lead agency is responsible for the completeness and accuracy of the checklist and other supporting documents.

## ***Use of checklist for nonproject proposals:*** [\[help\]](#)

For nonproject proposals (such as ordinances, regulations, plans and programs), complete the applicable parts of sections A and B plus the [SUPPLEMENTAL SHEET FOR NONPROJECT ACTIONS \(part D\)](#). Please completely answer all questions that apply and note that the words "project," "applicant," and "property or site" should be read as "proposal," "proponent," and "affected geographic area," respectively. The lead agency may exclude (for non-projects) questions in Part B - Environmental Elements –that do not contribute meaningfully to the analysis of the proposal.

## **A. background** [\[help\]](#)

1. Name of proposed project, if applicable: [\[help\]](#) **Triad Maple Comprehensive Plan Amendment and Rezone Application**
2. Name of applicant: [\[help\]](#) **Triad Maple, LLC**

3. Address and phone number of applicant and contact person: [\[help\]](#)

**Fred Grimm  
2801 Alaskan Way, Suite 107  
Seattle, WA 98121  
Phone: 206-374-0414**

4. Date checklist prepared: [\[help\]](#) **June 5, 2020**

5. Agency requesting checklist: [\[help\]](#) **City of Wenatchee**

6. Proposed timing or schedule (including phasing, if applicable): [\[help\]](#)

**A schedule for review and a hearing date shall be determined by the City of Wenatchee upon deeming the Comprehensive Plan Amendment Application complete.**

7. Do you have any plans for future additions, expansion, or further activity related to or connected with this proposal? If yes, explain. [\[help\]](#)

**Yes, the comprehensive plan amendment and rezone (CPAR) application is part of a larger residential development proposal known as Triad Maple which has a pending subdivision application and accompanying development agreement. The proposal includes approximately 384 residential units and a community center at full build out however has provisions to accommodate up to 450 dwelling units as contemplated in the development agreement. The proposal is distributed across approximately 167 acres. The project will contain a variety of unit types with a mixture of traditional single family detached product of varying sizes as well as cluster units and townhomes.**

8. List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal. [\[help\]](#)

**A preliminary geotechnical report has been completed by Aspect Consulting, a Fish and Wildlife Habitat Management and Mitigation Plan has been prepared by Grette Associates, LLC., a cultural resource report has been prepared by Cultural Resource Consultants, A Wildland Urban Interface Fire Safety Plan has been Prepared by Grette Associates, LLC and a Preliminary Storm Drainage Report has been prepared by Blueline.**

9. Do you know whether applications are pending for governmental approvals of other proposals directly affecting the property covered by your proposal? If yes, explain. [\[help\]](#)

**There is a preliminary subdivision and associated development agreement pending for the development site.**

10. List any government approvals or permits that will be needed for your proposal, if known. [\[help\]](#)

**City of Wenatchee Planning Commission recommendation  
City of Wenatchee City Council approval**



11. Give brief, complete description of your proposal, including the proposed uses and the size of the project and site. There are several questions later in this checklist that ask you to describe certain aspects of your proposal. You do not need to repeat those answers on this page. (Lead agencies may modify this form to include additional specific information on project description.) [\[help\]](#)

**The proposal seeks to amend the City of Wenatchee's Urban Area Land Use Map within the Wenatchee Urban Area Comprehensive Plan: Planning to Blossom 2037, adopted in 2017 and updated in 2019.**

**The applicant is seeking a Comprehensive Plan Amendment and Rezone (CPAR) to rezone approximately 18 +/- acres of several existing parcels (see associated exhibits for a detailed outline of the area), with portions currently zoned RS, from Residential Single-Family (RS) to Residential Low (RL). The purpose of this rezone would be to develop townhome units utilizing the new code provisions. In addition, the applicant is seeking a CPAR to rezone approximately 2 +/- acres, of one existing parcel, from RL (Residential Low) to Neighborhood Commercial (CN). This would allow modest activities, like a café or coffee shop, to be added on site to support the residential community. See submitted site plan for reference.**

12. Location of the proposal. Give sufficient information for a person to understand the precise location of your proposed project, including a street address, if any, and section, township, and range, if known. If a proposal would occur over a range of area, provide the range or boundaries of the site(s). Provide a legal description, site plan, vicinity map, and topographic map, if reasonably available. While you should submit any plans required by the agency, you are not required to duplicate maps or detailed plans submitted with any permit applications related to this checklist. [\[help\]](#)

**The primary address is 2024 A Maple Street Wenatchee, WA 98801. Both proposed rezone areas are located on existing parcel numbers 232032420800; 232032420900; 232032240000; 232032420905; 232032130300.**

## **B. ENVIRONMENTAL ELEMENTS** [\[help\]](#)

### **13. Historic and cultural preservation**

- a. Are there any buildings, structures, or sites, located on or near the site that are over 45 years old listed in or eligible for listing in national, state, or local preservation registers located on or near the site? If so, specifically describe. [\[help\]](#)

**Yes, there are structures on the site that were built around 1915, according to Chelan County Assessor. No structures on site are listed on national, state, or local preservation registers.**

- b. Are there any landmarks, features, or other evidence of Indian or historic use or occupation? This may include human burials or old cemeteries. Are there any material evidence, artifacts, or areas of cultural importance on or near the site? Please list any professional studies conducted at the site to identify such resources. [\[help\]](#)

**A cultural resource report has been prepared and no significant materials were found.**

- c. Describe the methods used to assess the potential impacts to cultural and historic resources on or near the project site. Examples include consultation with tribes and the department of

archeology and historic preservation, archaeological surveys, historic maps, GIS data, etc.  
[\[help\]](#)


The proposal is a non-project action regarding a comprehensive plan amendment and rezone. However, a background study was performed on the properties included in the site area to assess their historical context. A field investigation was performed, consisting of a pedestrian survey and soil probes.

d. Proposed measures to avoid, minimize, or compensate for loss, changes to, and disturbance to resources. Please include plans for the above and any permits that may be required.

The proposal is a non-project action regarding a comprehensive plan amendment and rezone.

### C. Signature [\[HELP\]](#)

The above answers are true and complete to the best of my knowledge. I understand that the lead agency is relying on them to make its decision.

Signature: 

Name of signee Mike Corde

Position and Agency/Organization Member

Date Submitted: 6/5/20

### D. supplemental sheet for nonproject actions [\[help\]](#)

(IT IS NOT NECESSARY to use this sheet for project actions)

Because these questions are very general, it may be helpful to read them in conjunction with the list of the elements of the environment.

When answering these questions, be aware of the extent the proposal, or the types of activities likely to result from the proposal, would affect the item at a greater intensity or at a faster rate than if the proposal were not implemented. Respond briefly and in general terms.

1. How would the proposal be likely to increase discharge to water; emissions to air; production, storage, or release of toxic or hazardous substances; or production of noise?

This proposal is a comprehensive plan amendment and rezone. The proposed changes will not result in the increase of any of the listed items.

Proposed measures to avoid or reduce such increases are: **Not applicable.**

2. How would the proposal be likely to affect plants, animals, fish, or marine life?

**This proposal is a comprehensive plan amendment and rezone. The proposed changes will not result in impacts to plants, animals, fish, or marine life.**

Proposed measures to protect or conserve plants, animals, fish, or marine life are: **Not applicable.**

3. How would the proposal be likely to deplete energy or natural resources?

**This proposal is a comprehensive plan amendment and rezone. The proposed changes will not deplete energy or natural resources.**

Proposed measures to protect or conserve energy and natural resources are:  
**Not applicable.**

4. How would the proposal be likely to use or affect environmentally sensitive areas or areas designated (or eligible or under study) for governmental protection; such as parks, wilderness, wild and scenic rivers, threatened or endangered species habitat, historic or cultural sites, wetlands, floodplains, or prime farmlands?

**This proposal is a comprehensive plan amendment and rezone. The proposed changes will not affect environmentally sensitive areas or any other government protected areas listed above.**

Proposed measures to protect such resources or to avoid or reduce impacts are:  
**Not applicable.**

5. How would the proposal be likely to affect land and shoreline use, including whether it would allow or encourage land or shoreline uses incompatible with existing plans?

**This proposal is a comprehensive plan amendment and rezone. The proposed changes will not affect shoreline uses. The proposed rezone from RS to RL will not result in a change in use, as the current zoning is a residential zone and the proposed zone is also a residential zone. The rezone of RL to NC would result in a slight change of use, as the current zone is a residential zone and NC is a commercial zone.**

Proposed measures to avoid or reduce shoreline and land use impacts are:

**The rezone from RL to NC would have minimal impacts to the land use, as the area proposed is small and will be part of a larger residential development proposal. The rezone will allow for the creation of community space for the residential development, as well as a small commercial space to accommodate a publically accessible café or shop.**

6. How would the proposal be likely to increase demands on transportation or public services and utilities?

**The rezone will have an increased demand on transportation and public services and utilities, as it would ultimately result in a residential development that will increase the density in the area.**

Proposed measures to reduce or respond to such demand(s) are: **All required impact fees will be paid when required during the building permit reviews. Any other mitigation required will be outlined within plat conditions of approval, as well as the associated developer's agreement.**

7. Identify, if possible, whether the proposal may conflict with local, state, or federal laws or requirements for the protection of the environment.

**Not that applicant is aware of.**



**COMPREHENSIVE PLAN AMENDMENT REQUEST FORM**

Date Submitted:  Accepted By:  Receipt No.  File No.

**Please select all that apply:**

- Comprehensive Plan Text Amendment
- Comprehensive Plan Map Amendment
- Comprehensive Plan Map/Zone Change Amendment

**GENERAL INFORMATION**

Applicant: Triad Maple, LLC

Mailing Address: 2801 Alaskan Way, Suite 107 Seattle, WA 98121

Contact No.: 206-374-0414 E-mail Address: fred@triaddev.com

**If applying for a map amendment complete owner information:**

Property Owner(s): Beaconsfield Associates

Mailing Address: 2350 Maple St. Wenatchee, WA 98801

Contact No.: \_\_\_\_\_ E-mail Address: bart@clennon.net

If there is more than one property owner, submit the supplemental additional owner(s) and authorization form.

**Complete section if an agent is acting for the applicant or owner during the permit process:**

Authorized Agent: Blueline - Contact: Lee Ann Ryan

Mailing Address: 25 Central Way Suite 500 Kirkland, WA 98033

Contact No.: 425-250-7248 E-mail Address: lryan@thebluelinegroup.com

**Please indicate who should receive correspondence and notices:**

- Applicant
- Owner
- Authorized Agent

**PROPERTY INFORMATION (complete if applying for a map amendment)**

Street Address(es): 2024 A Maple Street Wenatchee, WA 98801

Parcel No(s): 232032420800; 232032420900; 232032240000; 232032420905; 232032130300



Legal Description:

(Attach a separate sheet if necessary)

T 23N R 20EWM S 32 LOT A BLA 3418, LOT A 3417 NWSE, 53 ACRES;  
T 23N R 20EWM S 32 PT OF NW SE WEST OF CANAL 5.9500 ACRES;  
T 23N R 20EWM S 32 SENW 40.1200 ACRES; T 23N R 20EWM S 32 PT NWSE 0.3500 ACRES;  
T 23N R 20EWM S 32, LOT B BLA 2004-065, SWNE, 23.7800 ACRES

Area of property in acres or square feet: Rezone approximately +/- 18.33 acres of RS zone to RL zone Rezone approximately +/- 1.60 acres of RL zone to NC zone

Zoning District Designation: RS - Residential Single-Family

Overlay District: N/A

Comprehensive Plan Designation: RS - Residential Single-Family

Shoreline Environmental Designation: N/A

Please attach a narrative to this request that addresses the proposed amendment including how it is consistent with the Growth Management Act (RCW 36.70A), countywide planning policies, the City of Wenatchee Capital Facilities Plan, the Wenatchee Urban Area Comprehensive Plan goals and policies, any applicable sub-area plans, and how the amendment is in the best interest of the public. Additionally, please include as part of the narrative: 1) a detailed statement explaining how the site is more consistent with the proposed land use designation than with the existing land use designation; 2) a statement explaining how the site is suitable for the proposed designation and that there is a lack of appropriately designated alternative sites in the vicinity; and 3) are public facilities, infrastructure and transportation systems present to serve the intended amendment or have provisions been made in accordance with the Wenatchee City Code to provide necessary facilities.

If a map amendment is being proposed please also include the following information: current use of the site and the adjacent land uses and comprehensive plan designations.

An environmental checklist prepared pursuant to the State Environmental Policy Act (SEPA) is required to be submitted as part of this request.


The submittal of this application will docket the requested change(s) for consideration during the annual amendment process. This office will compile and maintain a list of requested changes for consideration during the next available annual amendment of the comprehensive plan pursuant to the procedures described in the Wenatchee Zoning Code Chapter 10.05. Applications submitted after the close of business on April 1st of each calendar you are generally processed in the following year's amendment process.

**ACKNOWLEDGEMENTS AND SIGNATURE**

I acknowledge that:

1. The information, plans, maps, and other materials submitted on an with this application are, to the best of my knowledge, a true and accurate representation of this proposal;
2. City of Wenatchee does not guarantee success of this request, and/or the issuance of an affirmative notice of action. The City's assistance to the applicant(s)/owner(s) does not preclude the need to address impacts raised by the public or by other federal, state, or local agencies;
3. In the event of any legal proceeding to challenge this application, any environmental determination or any other aspect of the proposal, the applicant(s)/owner(s) shall be solely responsible to defend such challenge and pay all court costs and attorney's fees necessary for such defense;
4. All persons executing this acknowledgement in a representative capacity shall be personally liable and hereby personally guarantee payment of all fees and costs required by this applicaiton.

Date: 6/5/2020

Applicant Signature: 

**General:**

The applicant has been working with the City staff and stakeholders over the last year on plans for a master planned community referred to as Triad Maple. The project, which is subject to a pending preliminary subdivision application and accompanying Development Agreement, includes multiple parcels totaling approximately 167 acres located along the western boundary of city limits. Though per current zoning the project is allowed approximately 979 dwelling units, the pending Development Agreement has capped the overall dwellings at 450 units. The project is anticipated to be built out in phases over the course of several years and proposes to provide a mixture of housing options to reflect a diverse market and changing demographics. The applicant has always desired a variety of single family home products and an area for townhome residences (for rent and sale).

The applicant recognizes the City Council, Planning Commission and various stakeholders recently completed an in depth public process to update the housing code to better reflect changing market demographics and provide a diversity of housing types. Prior to the adoption of the new code, the applicant entered a Development Agreement (Vesting DA) with the City to vest a portion of the development under the prior code, which allows for a Planned Residential Development (PRD). The applicant is seeking a Comprehensive Plan Amendment and Rezone (CPAR) to designate approximately 18.4 acres as Residential Low (RL) to develop townhome units utilizing the new code provisions. In essence, the RL rezone would make the Vesting DA unnecessary (i.e. the applicant will not need to pursue a PRD under the prior code). In addition, the applicant is seeking a CPAR to designate approximately 1.6 acres as Neighborhood Commercial (CN) which would allow modest activities, like a café or coffee shop, to be added on site to support the residential community (See EXHIBIT I).

The boundaries of the proposed CPAR are shown on the attached exhibits and align with the lot configuration in the pending subdivision application. In the event the CPAR boundary must coincide with a current parcel boundary the applicant will work with the City to make this happen. The dwelling units associated with this CPAR are included in the overall 450 unit cap described above.

The Triad Maple LLC CPAR Site is in the Foothills area near the future intersection of Maple Street and Springwater Avenue (See EXHIBIT A). The combined sites are in the western portion of the Wenatchee Urban Growth area (See EXHIBIT B) in an area recently annexed to the City of Wenatchee.

Surrounding Zoning (See EXHIBIT C): The proposed RL zone is bounded on the north, west and south by the RS zone and to the east by the RL Zone. The Proposed CN zone is located within property currently zoned as RL.

The purpose of the RL zone is to adjust the current zone line to follow the proposed lot and roadway layout associated with the pending subdivision application, and to allow the development of 2 and 3 story townhomes, with a maximum of 4 units per building, that include parking (See EXHIBIT F).

The purpose of the CN zone is to allow a private community center envisioned for this Site to include a public commercial use such as a café or small store (See EXHIBIT I).

## 1. GMA Planning Goals

The Washington State Growth Management Act (GMA) requires state and local governments to manage Washington's growth by identifying and protecting critical areas and natural resource lands, designating urban growth areas, preparing comprehensive plans and implementing them through capital investments and development regulations.

The following goals are adopted in the Growth Management Act to guide the development and adoption of comprehensive plans and development regulations of those counties and cities that are required or choose to plan under RCW [36.70A.040](#). The following goals are applicable to the requested rezone (numbering as indicated in the referenced RCW [36.70A.020](#) (See EXHIBIT I)). *Relevant comments are added in italic.*

1. Urban growth. Encourage development in urban areas where adequate public facilities and services exist or can be provided in an efficient manner. *The development adds density within the Urban Growth Area and will be easily served by public facilities. The CN zone will add private and public facilities to support the increased housing density (See EXHIBIT D).*

2. Reduce sprawl. Reduce the inappropriate conversion of undeveloped land into sprawling, low-density development. *By increasing density on this site, pressure to increase density outside of the UGA will be reduced (See EXHIBIT D).*

3. Transportation. Encourage efficient multimodal transportation systems that are based on regional priorities and coordinated with county and city comprehensive plans. *The configuration of the proposed rezone facilitates access via multimodal transportation systems.*

4. Housing. Encourage the availability of affordable housing to all economic segments of the population of this state, promote a variety of residential densities and housing types, and encourage preservation of existing housing stock. *By increasing housing density and adding appropriate housing types including townhome units of modest size this goal is fulfilled (See EXHIBIT E).*

9. Open space and recreation. Retain open space, enhance recreational opportunities, conserve fish and wildlife habitat, increase access to natural resource lands and water, and develop parks and recreation facilities. *By increasing density within the UGA, pressure on natural resources is reduced (See EXHIBIT D).*

10. Environment. Protect the environment and enhance the state's high quality of life, including air and water quality, and the availability of water. *By increasing density on this site, within the context of the topography, the impact of areas within the UGA on surrounding natural environments are reduced and overall quality of life is enhanced (See EXHIBIT H).*

13. Public facilities and services. Ensure that those public facilities and services necessary to support development shall be adequate to serve the development at the time the development is available for occupancy and use without decreasing current service levels below locally established minimum standards. *Facilities and services are easily extended to maintain service levels throughout the vicinity.*

## 2. Wenatchee Foothills Development Potential Study

(this document underlies/precedes the Appendix A of the 2019 Comprehensive Plan referenced in the next section)



The City and its consultants completed this study on May 22, 2009, which documents the need to accommodate density within the UGA as a means to reduce pressure on nearby Wenatchee Foothills areas. The Executive Summary includes the following:

“the previous urban growth area cannot accommodate the population forecasts, with a deficit of 3,898 housing units left to accommodate ... the Sunnyslope area cannot accommodate the rest of the projected housing units, falling short by 1,528 housing units.” From page 7 of the 2007 City of Wenatchee Comprehensive Plan

“The 2007 Comprehensive Plan does provide alternatives for addressing this need, including: “1. Mandate density. The city could require that new subdivisions in targeted areas meet minimum density standards. 2. Infill. The city could adopt an aggressive strategy for infill development and higher densities. 3. Expand UGA. The city could expand the urban growth area. Options include some of the foothills around the city, up the canyons, west towards Monitor, or south/east towards Malaga and Mission Ridge.”

“Because of this need, the City has experienced numerous applications to amend the City Comprehensive Plan and to expand the Urban Growth Area (UGA) Boundary to accommodate additional growth in the foothills area. Rather than evaluating the impacts related to expansion on case-by-case basis, the City wanted a comprehensive evaluation of the potential for future growth in the foothills area.”

The Introduction for the study also identifies the following “purpose” and “need” for future housing:

“In addition, the current Chelan County Code allows clustering of development based on the following:

All land within each zone is eligible for clustering;  
 Double density bonus is allowed for all land regardless of development feasibility;  
 Single points of access are allowed for any number of housing units; and,  
 Development is allowed on slopes over 25%.”

*The proposed rezone reduces recognized pressures to develop foothill areas by increasing density within the Urban Growth Area in a way that minimizes impact on the Wenatchee Foothills (See EXHIBIT G).*

### **3. City of Wenatchee Capital Facilities Plan**

*“The City’s Capital Facilities Plan (CFP) provides a comprehensive project list and schedule guiding the investment of city resources in infrastructure. These resources are made up of local revenues as well as State and Federal grants. The CFP identifies those projects which have secured funding as well as a list of projects which have not yet been funded. The projects included in this plan have largely been identified through other planning efforts which are all incorporated into the City’s Comprehensive Plan.”*

*The CPAR application is part of a larger development site that was recently annexed into the City of Wenatchee, passed by City Council on March 14, 2019. Since that time, the development team has been working closely with the City to understand necessary infrastructure to be provided by the City and the developer to facilitate the residential development discussed above, including development associated with the CPAR. The 2020-2025 Capital Facilities Plan outlines work to be completed by the City to extend*

roadways and utilities to the site for future connections. On-site infrastructure, related to the future residential development, will be installed pursuant to the pending subdivision application and associated developer's agreement. Through the development process adequate public infrastructure will be provided to serve all residential units, including roadways, sanitary sewer, and stormwater management. All infrastructure will be designed in compliance with current standards and connect to the City's existing road and utility systems. In addition, water facilities will be designed in accordance with Chelan County PUD's standards to provide connections to the PUD's water systems and extend domestic flows and fire flows to the site.

As previously mentioned, the 2020-2025 Capital Facilities Plan has allocated funds to City infrastructure projects to extend roadways and utilities to the development site for future connections to be made by Triad. These connections will help increase overall connectivity, utility infrastructure and provide better emergency fire access in the area.

The 2020-2025 Capital Facilities Plan identifies a project to extend Maiden Lane south in order to provide access and parking for the recreational area referred to as "Kenzie's Landing". The proposed development will eventually connect to the extension via Maple Street, once it has been extended through the development site. This will provide nearby residents with better access to the adjacent foothills trail system as well as a much needed second access to existing homes in the Broadview development. In addition to providing the Maple St./Maiden Lane connection, a sewer line will be extended within the Maiden Lane extension, to benefit the recreational area and the proposed development.

The City has plans to improve Maple Street, outlined in the 2020-2025 Capital Facilities Plan, to the eastern edge of the Wenatchee Reclamation District Bridge Canal Crossing. The improvements will extend sewer, storm mains, and frontage improvements to the east side of the WRD canal. These improvements will facilitate Triad's extension of Maple Street through the proposed development, eventually connecting to Maiden Lane. The extension of Maple Street through the development site will be provided through the pending subdivision application and associated developer's agreement.

Triad will also provide a third, southern, access point via Springwater Avenue, pending negotiation between the city and the Wenatchee School District to acquire necessary right of way for the Springwater Avenue extension. Assuming right of way can be obtained, Springwater will be extended to and through the site connecting it to Maple Street.

It is important to note that the City of Wenatchee's Capital Facilities Plan goes beyond providing a 6-year plan for infrastructure projects and associated financing. It also identifies City investments and awarded grant funds to address other needs such as economic development and housing. Highlighted within the Economic Development and Private Partnerships Plan:

*"During 2016, the City invested \$15,000 on behalf of the region to address a burgeoning housing crisis. The study found that there is a lack of market rate housing stock...Investing in capital improvements identified in this plan is recommended to increase the supply of readily developable land. The city*

*anticipates using the general fund and utilities to assist in preparing infrastructure to support development of housing market rate and affordable housing.”*

*It is clear the City of Wenatchee is experiencing housing affordability issues. A rezone to RL would allow for the development of townhomes where they are not currently permitted. This would facilitate the development of more diverse housing within the future community, by providing a variety unit types, at varying densities throughout the site, to better serve the needs of all income levels within the City. Necessary infrastructure would be provided by the developer, helping the City to meet housing needs without the immediate necessity of capital facility funds.*

**4. City of Wenatchee Comprehensive Plan: Planning to Blossom 2037: Wenatchee Urban Area Comprehensive Plan**

Extracts from the City’s Comprehensive Plan are identified. *Comments regarding applicability to proposed rezone indicated in italic.*

**HOUSING PROJECTIONS**

“The expected population increase for the Wenatchee urban area creates a demand for housing. Table 5 below identifies the housing demand based on the population projections of 2,497 housing units. This projection is based on the average household size in Wenatchee and does not factor in the current deficit of units. This number is simply the number of units required to maintain the current vacancy rate as population increases. The September 2016 Housing Needs Assessment indicated that 252 new multi-family rental units and 675 new for-sale units are necessary in the Urban Area to bring the area to a healthy 5% vacancy rate.”

**GOAL 4: FOOTHILLS AND CANYONS** – Ensure adequate emergency access into and out of foothills communities. Improve circulation by increasing connectivity within, between, and to neighborhoods.

*The proposed project will enhance emergency access in this community (See EXHIBIT D) and further the Western Foothills Transportation Impact Fee Study and City Ordinance 2019-41. Specifically,*

**GOAL 5: Parking** – Establish parking to be highly utilized, efficient, and safe, while promoting community appearance and alternative modes of transportation.

*Adequate parking will be provided in a safe and efficient manner within this development.*

**Housing Element:**

**Purpose**

“The purpose of the housing element is to establish policy directives for future housing in Wenatchee. In addition to accommodating projected growth, these strategies are designed to preserve and protect existing neighborhoods, stabilize and enhance threatened neighborhoods, and meet the housing needs of all segments of the population including lower income and special needs groups.”

*The proposed project will provide diverse housing supply aimed at meeting the projected growth within the City of Wenatchee. The housing units will be comprised of various price points, sizes and floor plans to accommodate people of different preferences and needs.*

### **Background**

“Wenatchee is a city of neighborhoods with a historical preference for single family detached housing. As Wenatchee has grown and its diversity increased, however, the demand for a wider mix of residential types including multifamily renter- and owner- occupied housing has increased and will continue to do so in the future.

The Wenatchee Urban Area Housing Needs Assessment & Market Demand Study of September 2016 produced by BERK showed that many different factors are contributing to the city’s current housing crisis. Some of these include rising housing costs, low vacancy rates, high rate of cost burdened households, a mismatch between household size and housing stock, inadequate supply of subsidized units, and an ongoing increase of senior residents. The housing policies contained in this element and related policies in other elements of the plan are directed at addressing these identified issues and trends.

Development standards and practices that inhibit the development of mixed-income communities are often called “exclusionary zoning.” In contrast, “inclusionary zoning,” actively promotes a mix of housing options within communities. In addition to creating incentives or requirements for mixed-income housing, this strategy promotes more flexible design standards (e.g. narrow lots) within residential neighborhoods.”

*The proposed rezone provides an inclusionary zoning approach granting the project the ability to deliver residential units of varying sizes in this community thereby increasing housing stock for a variety of incomes and household sizes. The provided amenities and desirable upscale community will attract a large range of resident groups including seniors (See EXHIBIT E).*

*Housing affordability is addressed in Triad Maple LLC’s community through an extensive segmentation of product sizes and types. Wenatchee’s historically lower-density development is only applicable to Triad’s property in areas with gradients challenging for higher densities. Almost 50% of the homes will be built on lots with densities in the 9-12/acre range, an average as much as three times most development in the city. These homes will be substantially smaller than the larger single-family detached lots, and correspondingly lower priced – in some cases with square footages as low as 1400-1800 square feet. This will offer more affordable units to the community in balance with larger homes.*

**GOAL 1: HOUSING AFFORDABILITY**– Encourage the availability of affordable housing to all economic segments of the population.

**Policy 1:** Develop and implement regulations that allow targeted densities to be achieved with reasonable likelihood while mitigating potential negative impacts.

*A rezone of this site will allow density to be achieved with potential negative impacts mitigated through thoughtful design of the units, careful site planning and by the integration of the project with the topography of the site. (See EXHIBIT F). To avoid obstruction of views from the valley into the foothills, the proposal is built into the hill side rather than on the bluff (See EXHIBIT H).*

**GOAL 3: HOUSING MIX & DENSITY** – Provide an adequate distribution of housing types consistent with land constraints and changing market demographics and preferences.

**Policy 1:** Expand housing options to better reflect changing market demographics.

**Policy 7:** Two thirds of the housing units in the Wenatchee area have three or more bedrooms while 60% of Wenatchee’s households only have one or two members. Increase housing opportunity from the current 11% of supply for single bedroom or studio units to better meet the needs of the majority of Wenatchee’s households.

*The proposed rezone will facilitate the provision of 1 bedroom and 2 bedroom unit types (See EXHIBIT E).*

**GOAL 5: QUALITY OF LIFE** – Support the enhancement of Wenatchee’s built and natural environment as a community asset to attract business and tourism growth.

**Policy 7:** Increase the housing supply to a target 5 percent vacancy rate to curb rising prices resulting from lack of inventory.

*The proposed rezone will facilitate the provision of an increased housing supply within the Wenatchee market (See EXHIBIT D).*

## COMMUNITY DESIGN AND HEALTHY COMMUNITIES

**GOAL 1: GATEWAYS** – Improve the visual appeal and navigability of Wenatchee by enhancing gateways into the city, its districts and neighborhoods.

*The proposed development includes a gateway (entry) feature seen as integral to the proposed rezone (See EXHIBIT D).*

**GOAL 7: AESTHETICS**– Identify opportunities to improve the visual aesthetics of the community.

**Policy 1:** Consider the appearance, placement and design of public and private infrastructure, such as light standards, sidewalk patterns in historical areas, traffic signals, utility boxes, cellular facilities, etc., which can have a negative impact on community character.

*The proposed rezone will enhance the appearance of the area through the construction of appropriate infrastructure that will minimize negative impacts.*

## PARKS, RECREATION, AND OPEN SPACE

**GOAL 2: PARKS AND OPEN SPACE SYSTEM** – Acquire and develop an interconnected system of multi-functional parks, trails, recreation facilities and open spaces that is attractive, safe and available to all segments of the City’s population.

**Policy 7:** Develop partnerships with other public agencies and the private sector to meet the demand for parks and recreational facilities in the City.

**Policy 8:** Recognize and support the importance of non-city facilities and programs that assist in meeting the needs of the community for parks, recreation and open space.

*The neighborhood will include a trail network that improves access to the adjacent Wenatchee Foothills Trails. The Triad Maple project utilizes several types of pedestrian corridors to encourage a walkable community. There will be typical pedestrian corridors in the form of sidewalks throughout the project with the Community Center being located near the middle of the project and close to the higher density homes and condominiums. Upon completion of the Maple Street connection to Maiden Lane, sidewalks will allow convenient pedestrian access to Kenzie's Landing Trailhead offering many miles of trails created by the Chelan Douglas Land Trust. In addition to sidewalks, the Triad Maple project will have two types of nature trails to provide pedestrian connectivity between neighborhoods and to access to the 64 acres of open space set aside for the project. Internal trails will provide year-round hiking opportunities (weather/trail conditions permitting) accessing several viewpoints located within the open space. Exterior Grassland trails will connect the Internal trails to neighboring trails and Kenzie's Landing to the west. The Exterior Grassland trails will be subject to seasonal closures consistent with the Land Trust, PUD and City trail closures for protection of mule deer habitat. (See EXHIBIT J)*

## NATURAL ENVIRONMENT

**GOAL 2: CRITICAL AREAS** – Maintain critical area functions and values within the City while seeking to protect the public and personal property from the effects of natural hazards.

**Policy 5:** Encourage the use of clustered development and other innovative designs that aim to preserve the functions of critical areas and further public safety.

*The CPAR will allow townhomes, which by their nature allow a higher density of housing units on a smaller footprint of land. The units will be tucked into the hillside which prevents silhouetting while also allowing the buildings themselves to take up grade. This more compact development allows housing goals to be achieved with less impact to the adjacent areas.*

**Policy 6:** Seek to protect the public and personal property from the effects of landslides, seismic hazard, steep slope failures, erosion, and flooding by private and public projects incorporating best available science into project design, avoiding or mitigating for potential impacts.

*A Preliminary Geotechnical Engineering Report for the overall project was prepared by Aspect Consulting. The report includes a summary of geologic hazard observations including Erosion hazard, Landslide Hazard, and Seismic and also geotechnical conclusions and recommendations to support development at the site. Specifically, the report includes recommendations for cut and fill slopes, terracing, erosion control, drainage and other elements that will be incorporated into the site design to avoid and/or mitigate potential impacts of development. In addition to geotechnical recommendations for addressing runoff, the proposal will comply with current stormwater management standards to mitigate runoff and avoid any potential flooding hazards. As mentioned above, the compact footprint associated with the proposed townhome units will*

*allow development to stay closer to the edge of the hillside, as compared to traditional single family development, which will result in less disturbed areas and overall impacts to the hillside.*

**GOAL 8: WILDFIRES** - Acknowledge the impacts that wildfires have on the Wenatchee Valley. Seek to develop and implement approaches to adapt to the risks of wildfires making the City of Wenatchee a more fire adaptive community.

**Policy 2:** Review the development code and land use recommendations of the Community Planning Assistance for Wildfire Program for the City of Wenatchee and Chelan County. Through a public process including key stakeholders balance these recommendations and potential amendments with the other policy components of the City of Wenatchee Urban Area Plan and community values.

*A Wildland-Urban Interface Fire Safety Plan has been prepared for the proposed Triad Maple Development. Due to the site's location adjacent to a large expanse of wildland vegetation, providing fire safety for residents is of utmost importance. Development of the site will be in full compliance of the WCC 3.36 Wildland-Urban Interface Standards, including the design of defensible space within the primary zone as outlined in WCC 3.36.160. Adherence to the proposed fire safety plan, as written, will potentially limit the loss of property within the proposed development due to any future wildfire events at the site. All buildings are intended to be constructed using Fire Wise principles. A 30' Fire Wise Barrier will be provided per Wildland Urban Interface requirements. (See EXHIBIT J)*

## **City of Wenatchee Housing and Community Development Consolidated Plan**

### **From "Housing Needs Assessment and Market Demand Study" 2016**

"Given low vacancy rates and rising housing costs, one key to addressing Wenatchee's housing challenges is increasing the production of market rate housing, including single family as well as multifamily and "missing middle" housing formats that can expand the variety of housing options available to meet the needs of different household sizes and types."

"Consider Appropriate Opportunities for Additional Residential Density one way to create opportunities for production of multifamily housing is to consider areas that may be appropriate for added residential density. Strategies also supported by the Task Force recommendations include upzoning in residential zones or allowing housing in commercial zones (either through the adaptive reuse of existing buildings or through changing regulations within these zones to allow for more residential uses and mixed uses as appropriate). Given the rising cost of housing in Wenatchee, it is likely that there will be a growing demand for housing that is denser and more affordable than the traditional single family developments."

*The proposed rezone fosters increased density and adds to the available housing mix unit sizes and types that are currently missing within the market (See EXHIBIT E).*

## **5. Chelan County Comprehensive Plan**



The following policies are derived from Attachment A to the Chelan County Comprehensive Plan and are considered relevant to this proposal. *Comments related to the proposed rezone are noted in italic.*

“While recognizing that residential development is important and necessary to the sustainability of the County, the following goals and policies were developed to ensure that future development is compatible with surrounding land uses and can be efficiently and effectively served by public facilities and services. Further guidance can be found in the Rural Element and the Housing Element. An adequate supply of housing available to all income levels is necessary to meet the housing needs of the County.” *The proposed rezone will increase the diversity and quantity of housing available in the county.*

Policy LU 1.1: “Promote improved neighborhood character and compatibility through unified design and site requirements for both site built homes and manufactured and modular housing. Rationale: The placement of should take into consideration compatibility with the character of existing and future residential areas.” *The proposed rezone will allow the completion of the character of the neighborhood along its western edge. This allows for a comprehensive mix of lifestyle living options throughout the neighborhood that contributes to the vision of a diverse and inclusive community. (See EXHIBIT K).*

Goal LU 1: “Residential designations shall provide for an adequate supply of land to accommodate the housing needs and strategies outlined by the comprehensive plan. Implementation regulations shall provide for a variety of residential opportunities to serve a full range of income levels.” *This goal is achieved through the rezone by increasing the supply and variety of residential opportunities at different price points throughout the community (See EXHIBIT D).*

Policy LU 1.4: “Except as provided for by the Rural Element, new residential development which requires urban services and facilities must be located within urban growth areas or LAMIRDs.” *The development is within the Urban Growth Area (See EXHIBIT A).*

Policy LU 1.6: “Consider environmental limitation, availability of infrastructure and consistency with the Comprehensive Plan and the Growth Management Act when establishing residential density standards.” *Supporting infrastructure is easily extended to the proposed rezone area.*

Policy LU 1.7: “Consistent with the Growth Management Act, ensure provision of necessary public facilities and public services for the development, infill and redevelopment of existing residential and mixed use centers outside urban growth areas, such as LAMIRDs or rural communities. Such services should not be extended in a manner that promotes low density sprawl in rural areas. Rationale: The Growth Management Act permits the development, redevelopment and infill of existing intensely developed rural areas. The Act does not allow for the expansion of these areas outside of logically set boundaries.” *The proposed rezone enhances the benefits of density and counteracts the tendency for sprawl and related negative impacts (See EXHIBIT D).*

Policy LU 1.8: “Ensure that adequate off-street parking is provided for residential development”. *The proposed rezone includes off street parking as required under proposed zoning (See EXHIBIT H).*

Policy LU 2.1: “Encourage physical activity through land use policies, regulations, design and, when feasible, community awareness and education.” *The proposed development includes enhanced access to the Wenatchee Foothill Trails through a neighborhood trail network and sidewalks. The community will also include a private recreational amenity that will facilitate a pool and rec courts to support an active lifestyle for residents. (See EXHIBIT D).*



Policy LU 2.2: “Support implementation of multi-modal transportation facilities, continued use of public lands, and land uses such as parks, trail systems, sidewalks, road ways and other transportation systems, when reviewing land use designations, development permits and land divisions. GOAL LU 3: Protect water quality and quantity. Rationale: The protection of water quality and quantity is important for the public health, the local economy, the environment, and helps to maintain the high quality of life.” *The proposed development will include required facilities to support movement through and around the site and to control storm water and other natural impacts on the vicinity.*

Policy LU 4.1: “Encourage development that is compatible with the natural environment and minimizes impacts to significant natural and scenic features. Rationale: The design of development proposals should consider the relationship with the natural environment from both aesthetic and environmental perspectives. Capitalizing on natural features can enhance the quality of new development while minimizing potential adverse impacts and exposure.” *The proposal minimizes visual impact by allowing low rise dense housing on existing slopes and by reducing sprawl tendencies on nearby properties (See EXHIBIT H).*

Policy LU 4.2: “Partner with agencies responsible for managing public lands to ensure that local interests are represented. Rationale: Because public lands comprise such a large percentage of the County, the importance of management that reflects local interest cannot be over-emphasized.” *The development has worked in partnership with the Washington State Department of Fish and Wildlife (WSDFW) to maintain Mule Deer habitat and migratory paths. The project also aims to support the adjacent Wenatchee Foothills Trails, managed by the Chelan-Douglas Land Trust, through improved access to trails and trailheads.*

### **City of Wenatchee Zoning Code**

*The proposed rezone is requested within the constraints of the Wenatchee Zoning Code requirements for the zones specified under the “Specific Zoning” section included on Pg. 1 of this document.*

Sincerely,



Ray Johnston  
Partner

VICINITY MAP

Project Site



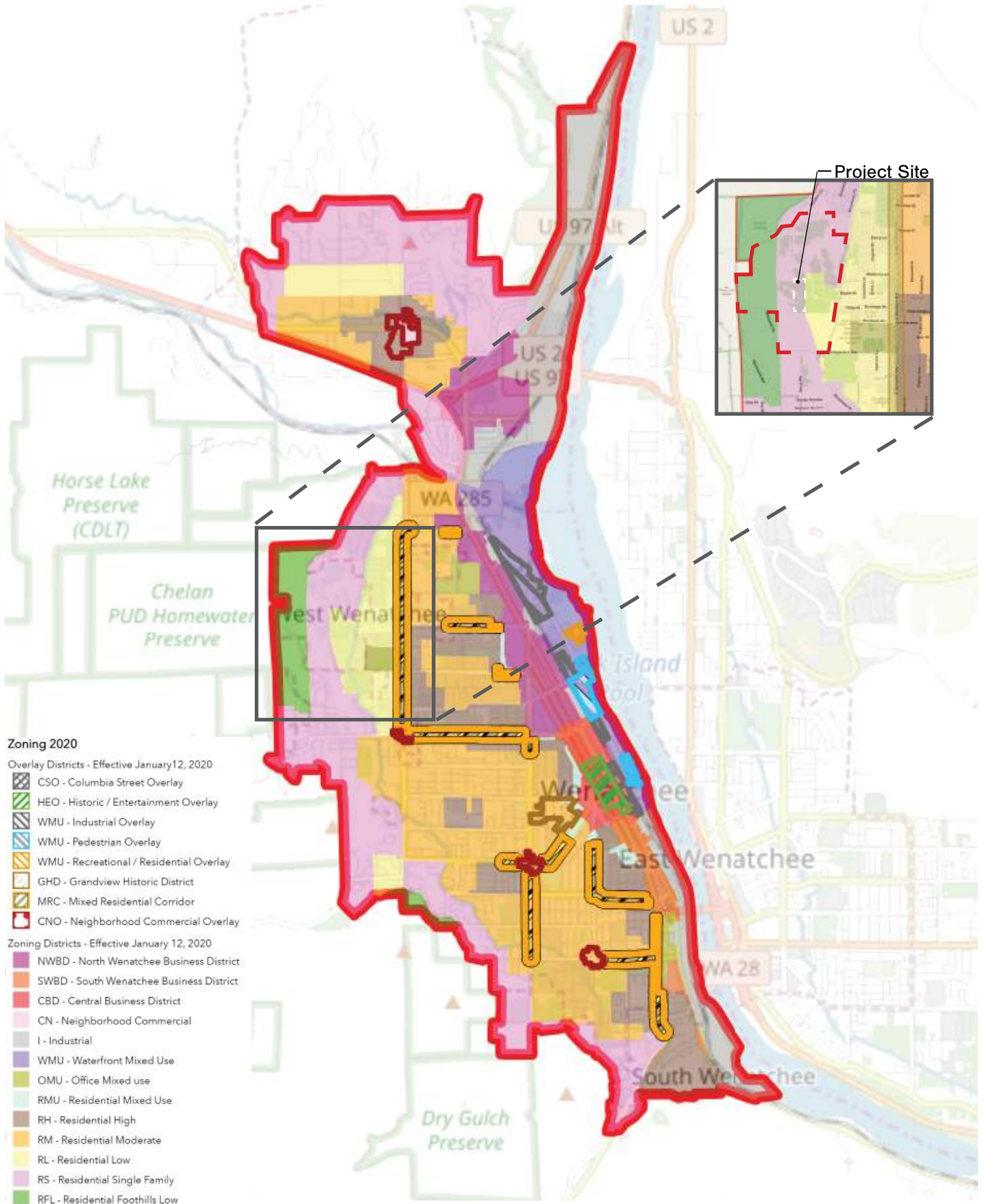
Project Site



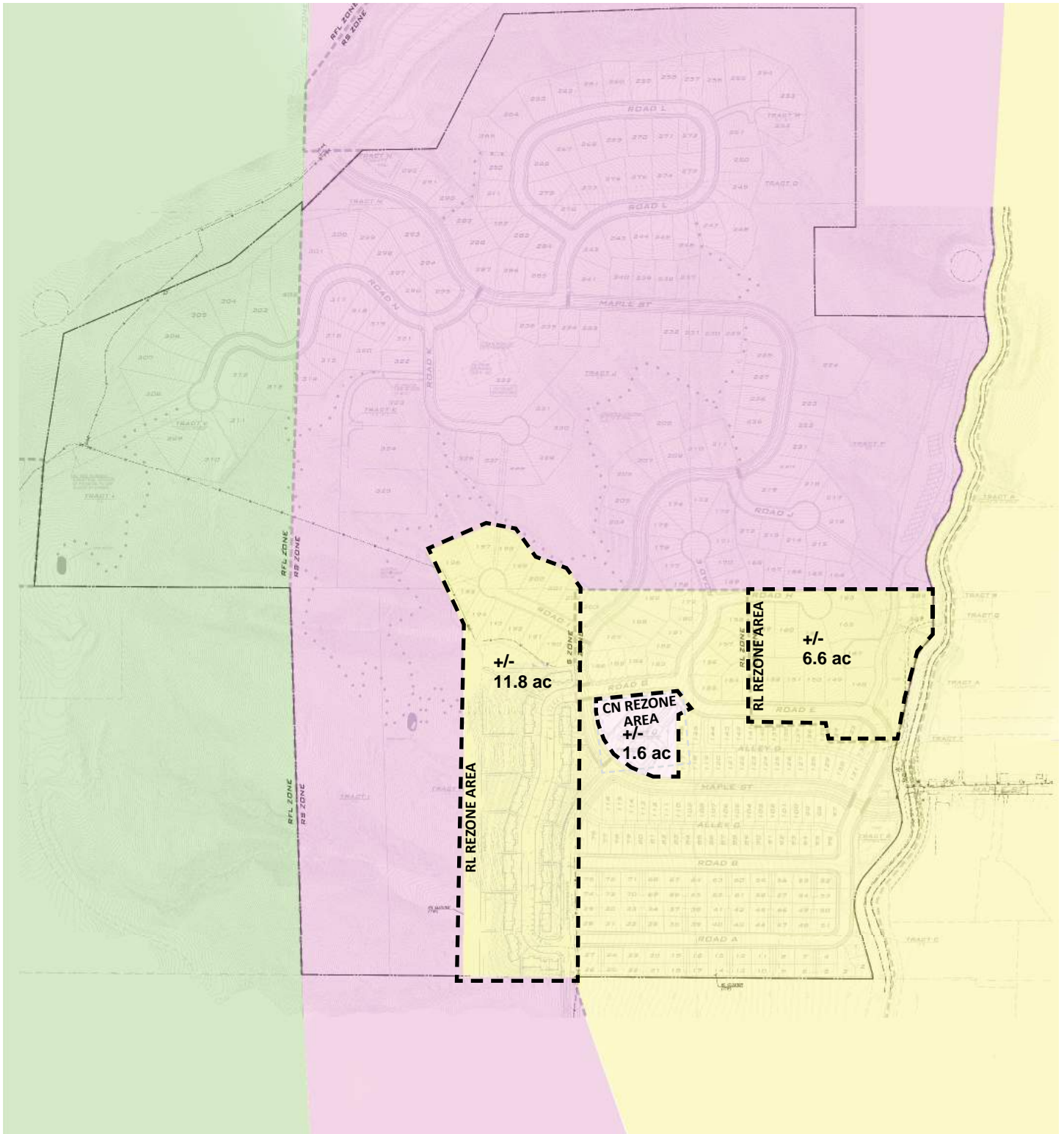


# ZONING MAP

## Existing Zoning



**ZONING MAP**  
Proposed Zoning



- CN - Neighborhood Commercial
- RL - Residential Low
- RS - Residential Single Family
- RM - Residential Moderate
- RFL - Residential Foothills Low





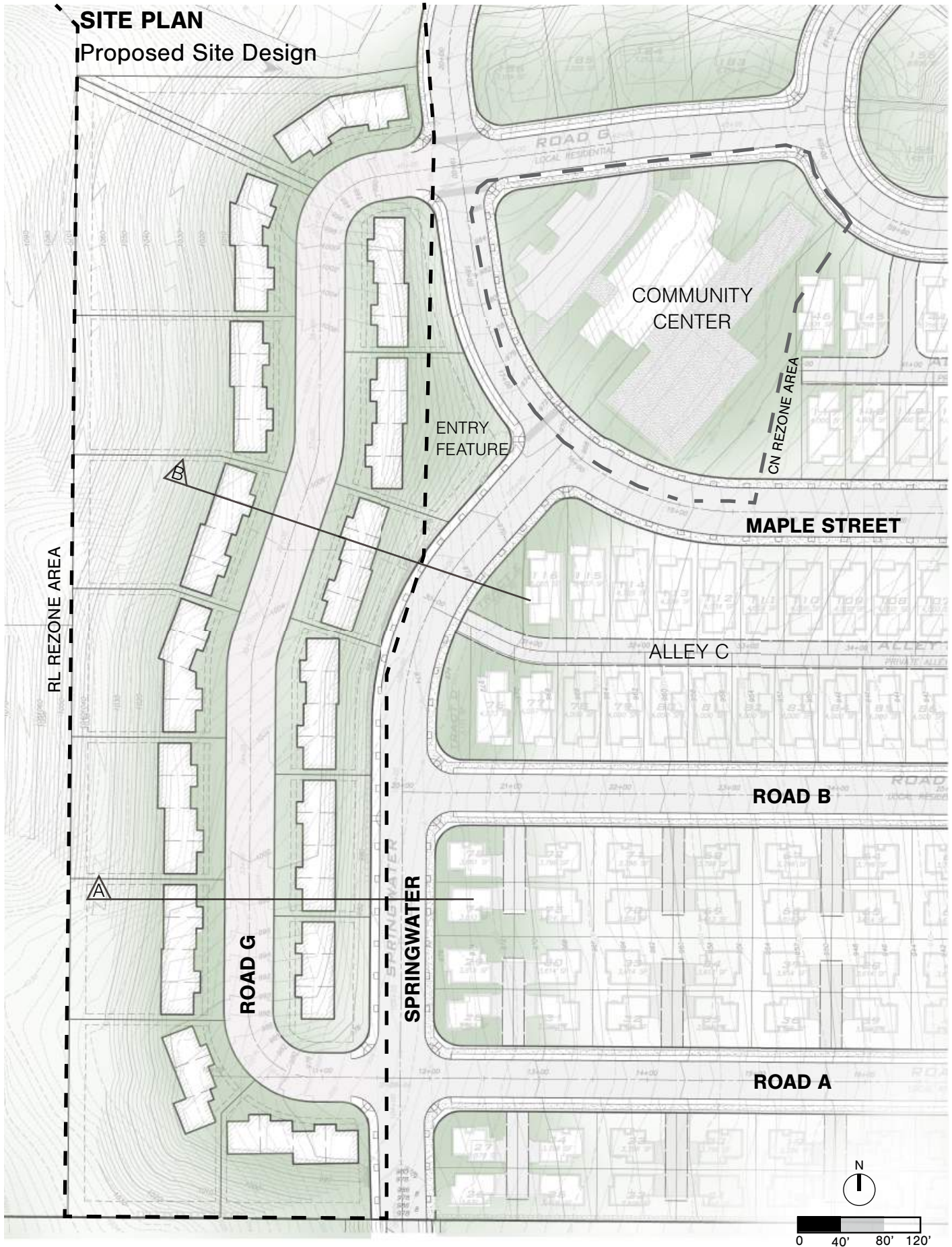


EXHIBIT E

TYPICAL UNIT PLANS

west units

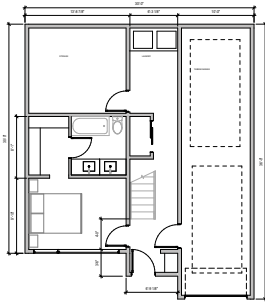
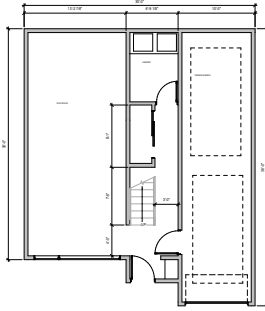
2 level unit = 1405 sq sf + garage

3 level unit = 1688 sq ft + garage

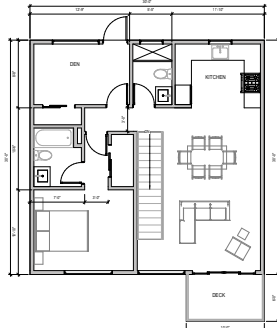
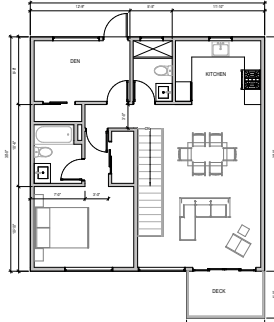
OPTION 1

OPTION 2

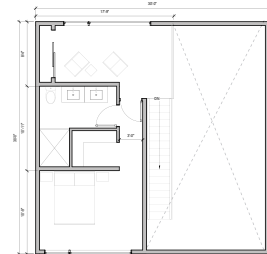
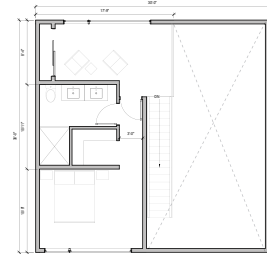
level 1



level 2



optional level 3



east units

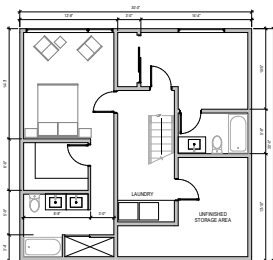
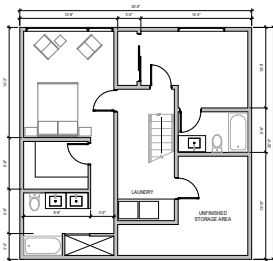
2 level unit = 1405-1560 sq sf + garage

3 level unit = 2000 sq ft + garage

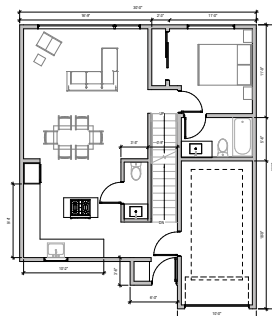
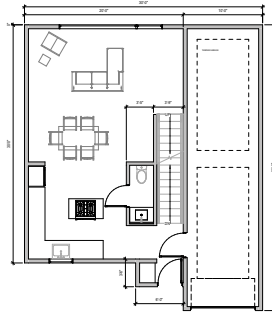
OPTION 1

OPTION 2

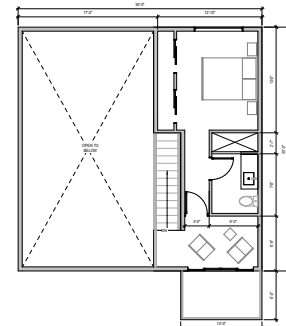
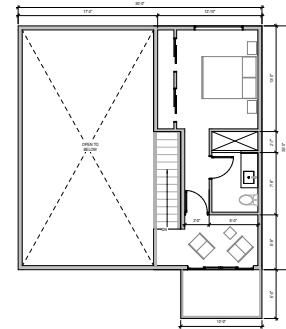
level 1



level 2



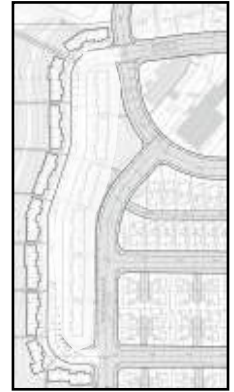
optional level 3



level 1

**POTENTIAL SCHEMATIC SOLUTIONS**

**KEY**



**WEST UNITS**



gable roof | 2 story



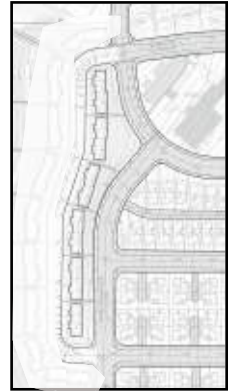
shed roof | 3 story





# EAST UNITS

## KEY



gable roof | 2 story



shed roof | 3 story



alternating shed roof | 3 story



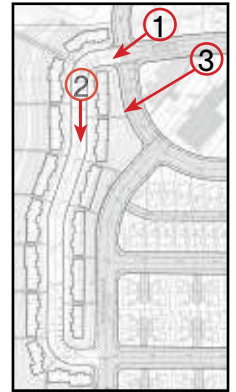


**SITE PERSPECTIVES**

① entry view



**KEY**



② street view

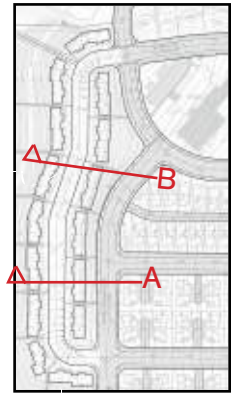


③ overall view

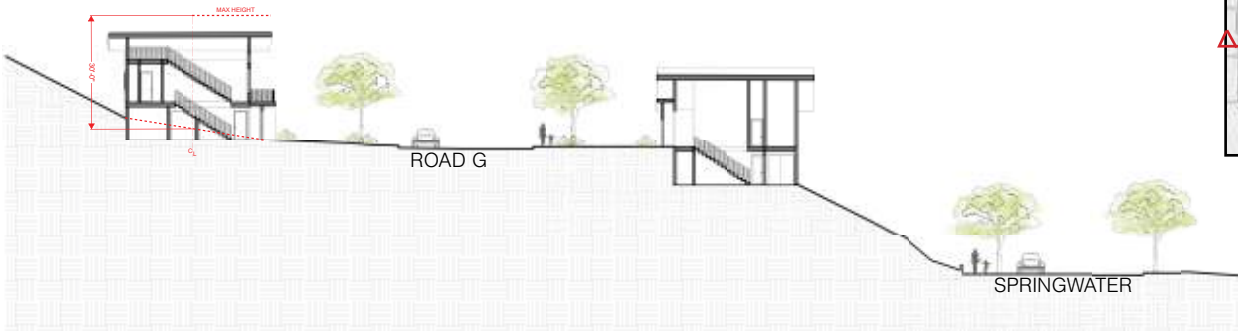


EXHIBIT H  
SITE SECTION

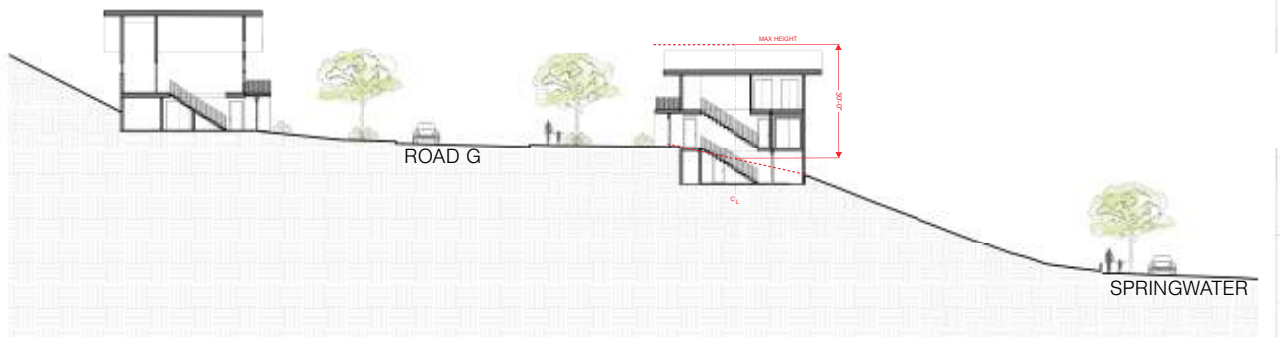
KEY



section A



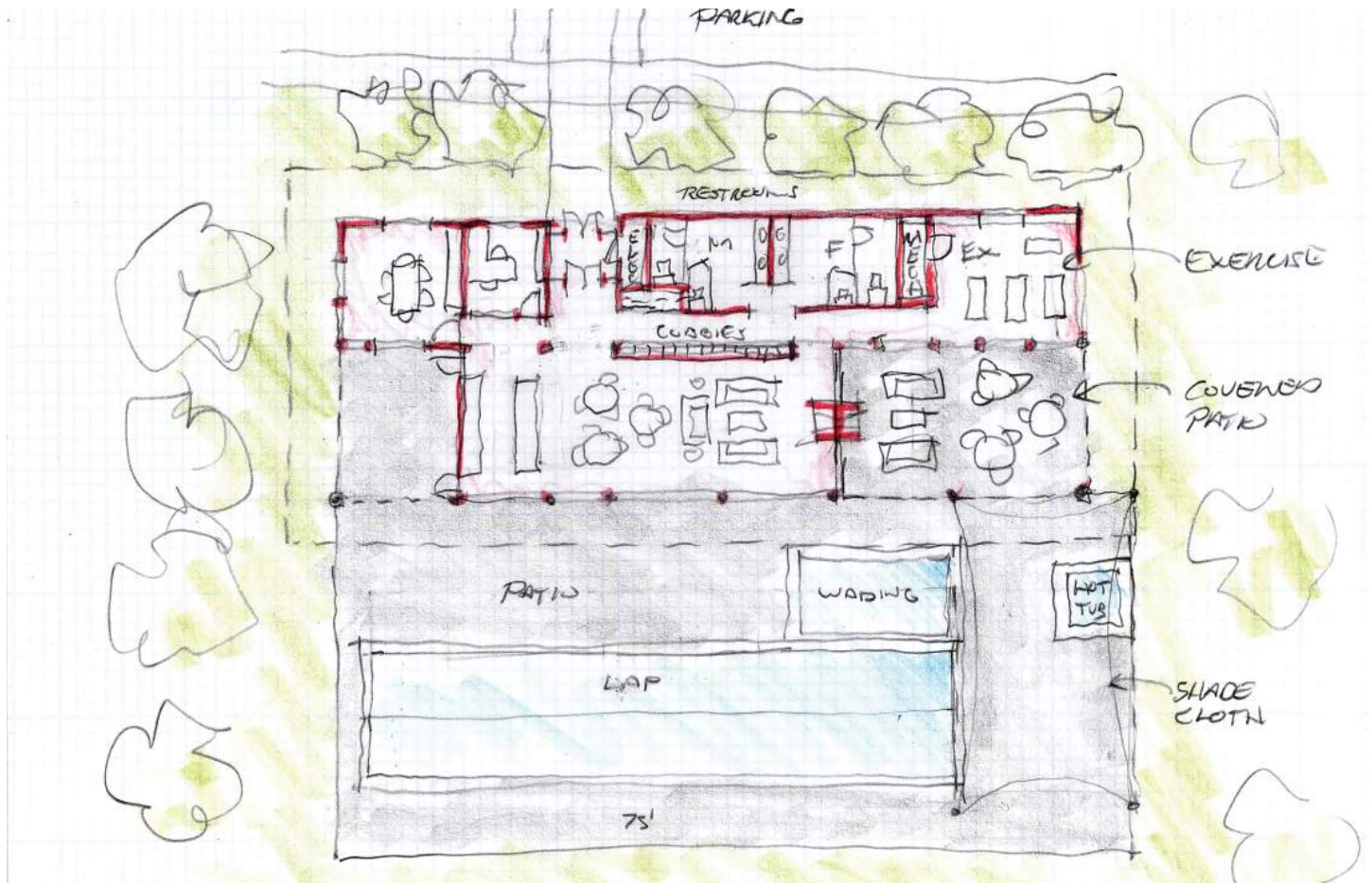
section B







POTENTIAL SCHEMATIC SOLUTIONS

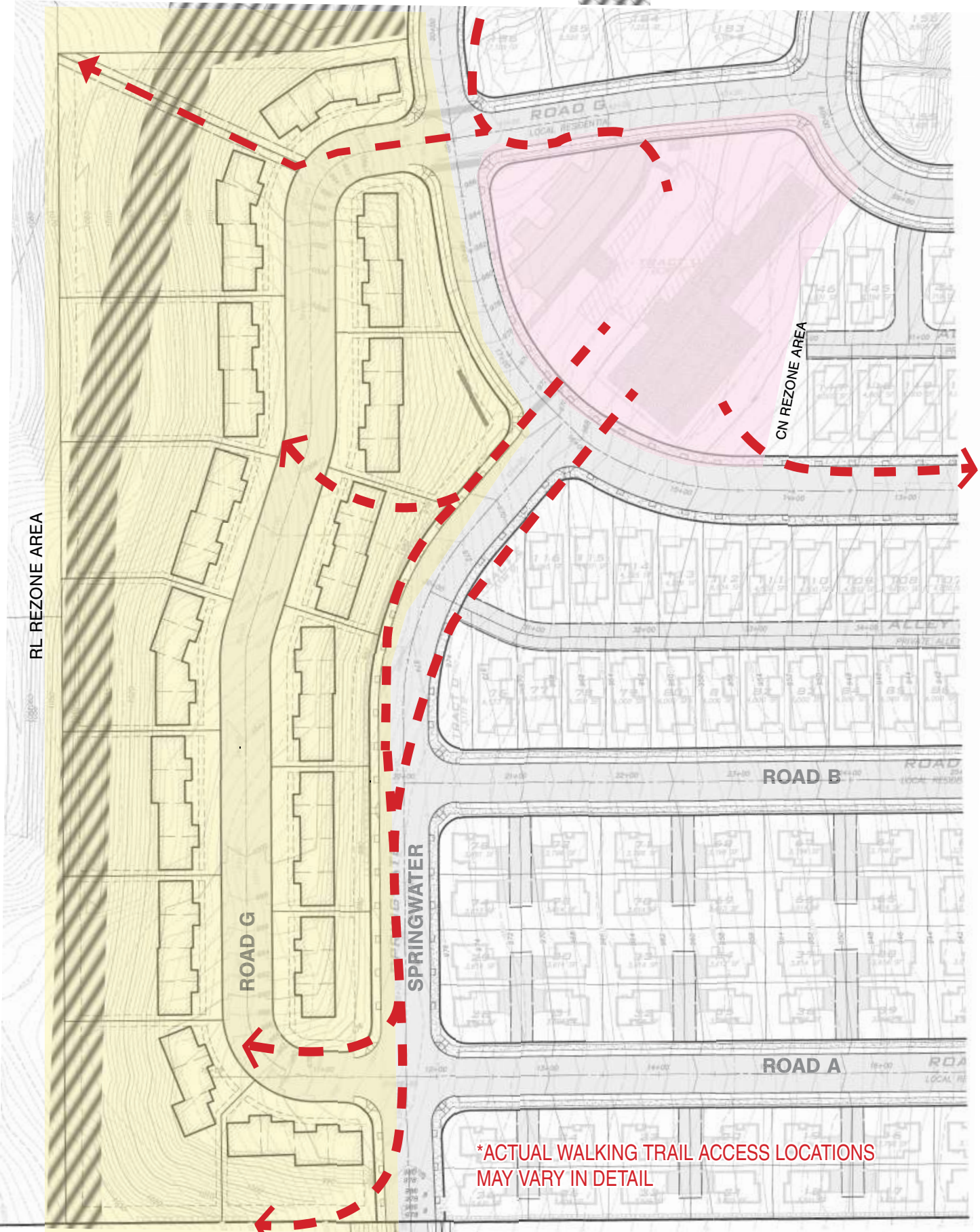
COMMUNITY CENTER





**SITE DIAGRAM**

-  WALKING TRAILS
-  30' FIRE WISE BUFFER





**CASE STUDY**

Johnston Architects

**BRYANT HEIGHTS**



**BRYANT HEIGHTS**

Typical, side-by-side,  
two-bedroom townhouse floorplans

Bryant Heights is an entire city block located between a vibrant commercial corridor and a traditional single-family neighborhood, presenting a chance to increase density integrated into the fabric of an established community.

The site was home to many identified Exceptional Trees that are an integral part of the natural urban fabric. Their presence lends weight and a timelessness to the site, and great care was taken to preserve them throughout the process. The buildings, paths, and landscape are placed around them in a respectful dialogue.

To achieve integration with the existing single family neighborhood to the north and west, it was necessary to change the scale and front yard setbacks of the buildings. The location of the specimen trees helped syncopate the facades, lending character to the street design and providing scale.

The mixed-use buildings on 65th Street hold the commercial street edge and act as an acoustic buffer. A middle band of townhomes transitions from the smaller residential to the larger commercial scale buildings.





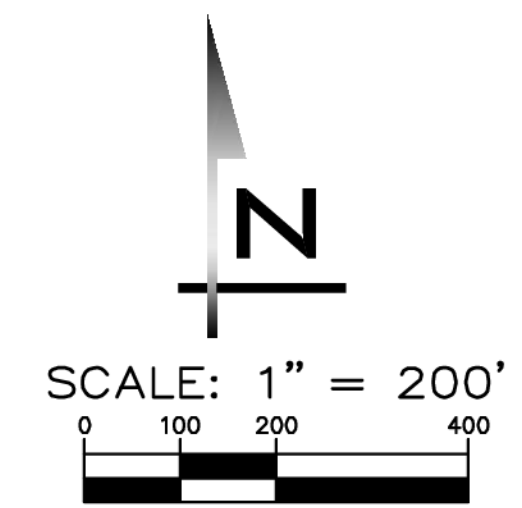
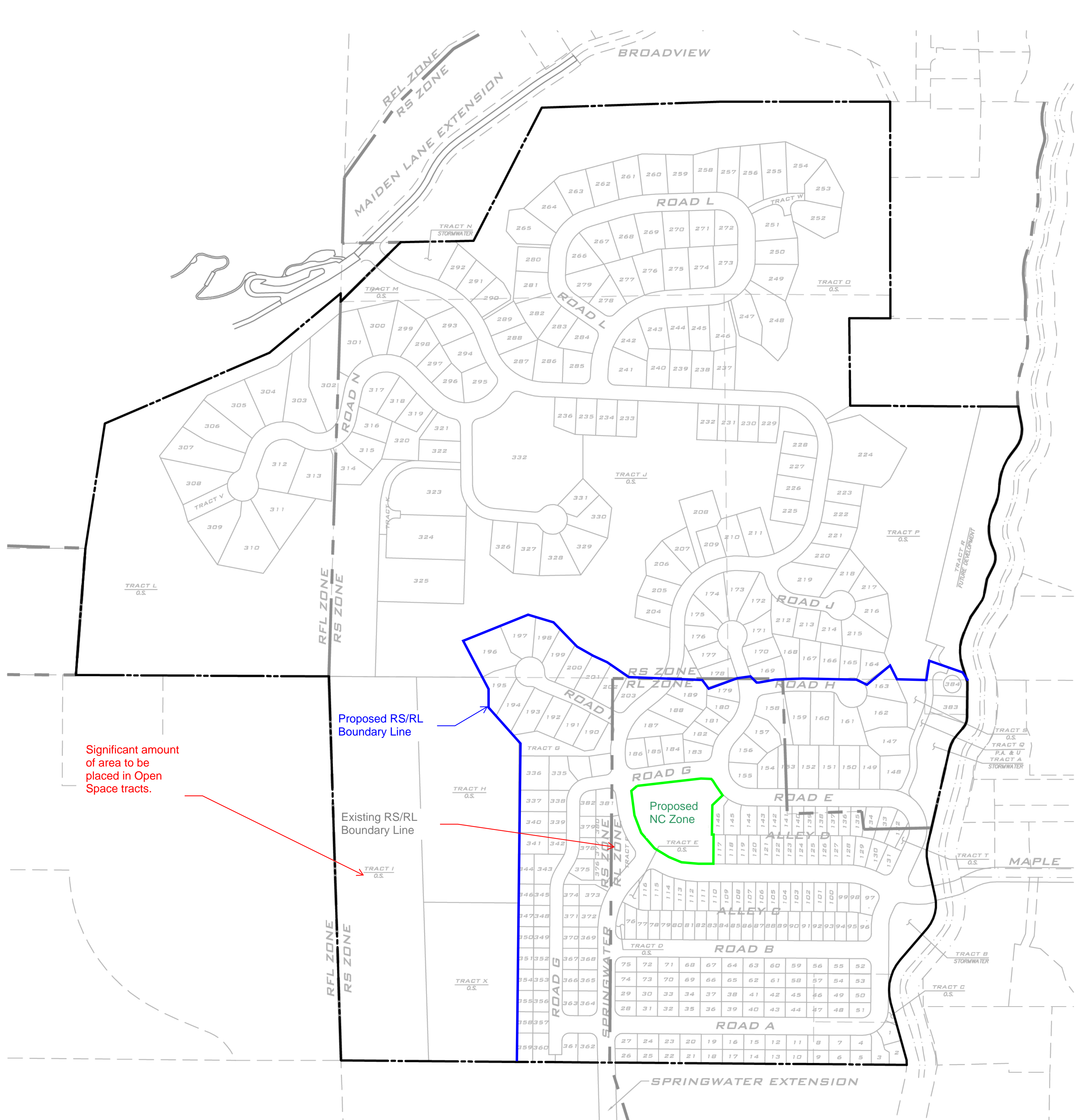
**RCW 36.70A.020****Planning goals.**

The following goals are adopted to guide the development and adoption of comprehensive plans and development regulations of those counties and cities that are required or choose to plan under RCW **36.70A.040**. The following goals are not listed in order of priority and shall be used exclusively for the purpose of guiding the development of comprehensive plans and development regulations:

- (1) Urban growth. Encourage development in urban areas where adequate public facilities and services exist or can be provided in an efficient manner.
- (2) Reduce sprawl. Reduce the inappropriate conversion of undeveloped land into sprawling, low-density development.
- (3) Transportation. Encourage efficient multimodal transportation systems that are based on regional priorities and coordinated with county and city comprehensive plans.
- (4) Housing. Encourage the availability of affordable housing to all economic segments of the population of this state, promote a variety of residential densities and housing types, and encourage preservation of existing housing stock.
- (5) Economic development. Encourage economic development throughout the state that is consistent with adopted comprehensive plans, promote economic opportunity for all citizens of this state, especially for unemployed and for disadvantaged persons, promote the retention and expansion of existing businesses and recruitment of new businesses, recognize regional differences impacting economic development opportunities, and encourage growth in areas experiencing insufficient economic growth, all within the capacities of the state's natural resources, public services, and public facilities.
- (6) Property rights. Private property shall not be taken for public use without just compensation having been made. The property rights of landowners shall be protected from arbitrary and discriminatory actions.
- (7) Permits. Applications for both state and local government permits should be processed in a timely and fair manner to ensure predictability.
- (8) Natural resource industries. Maintain and enhance natural resource-based industries, including productive timber, agricultural, and fisheries industries. Encourage the conservation of productive forestlands and productive agricultural lands, and discourage incompatible uses.
- (9) Open space and recreation. Retain open space, enhance recreational opportunities, conserve fish and wildlife habitat, increase access to natural resource lands and water, and develop parks and recreation facilities.
- (10) Environment. Protect the environment and enhance the state's high quality of life, including air and water quality, and the availability of water.
- (11) Citizen participation and coordination. Encourage the involvement of citizens in the planning process and ensure coordination between communities and jurisdictions to reconcile conflicts.
- (12) Public facilities and services. Ensure that those public facilities and services necessary to support development shall be adequate to serve the development at the time the development is available for occupancy and use without decreasing current service levels below locally established minimum standards.
- (13) Historic preservation. Identify and encourage the preservation of lands, sites, and structures, that have historical or archaeological significance.



LEGEND	
<b>PROPOSED FEATURES</b>	
BOUNDARY	MAILBOX
RIGHT-OF-WAY	SIGN
LOT LINE	CURB RAMP
CURB FLOWLINE	DRY UTILITY CORRIDOR
SIDEWALK	DRY UTILITY CONDUIT
CENTER LINE	STREET LIGHT
SAWCUT	GRAVEL
EASEMENT	ASPHALT PAVEMENT
BUILDING FOOTPRINT	CONCRETE
BUILDING OVERHANG	RIPRAP
BUILDING ROOFLINE	SLOPE DAGGER
BUILDING SETBACK (BSSL)	BARRICADE
FENCE	
GUARDRAIL	
190 10' PROPOSED CONTOURS	
192 2' PROPOSED CONTOURS	
FILL RETAINING WALL	
CUT RETAINING WALL	
FILL ROCKERY	
CUT ROCKERY	
DAYLIGHT LINE	
<b>PROPOSED STORM DRAINAGE</b>	
STORM DRAIN PIPE	TYPE II CB - STANDARD GRATE
ROOF & FOOTING DRAIN	TYPE II CB - LOCKING LID
ROCKERY DRAIN	PIPE FLOW
SWALE OR DITCH	CULVERT END
STREET FLOW	STORM CLEANOUT
SURFACE FLOW	YARD DRAIN
RIPRAP PAD	OVERFLOW STRUCTURE
TYPE I CB - STANDARD GRATE	RAIN GARDEN
TYPE I CB - LOCKING LID	
<b>PROPOSED SANITARY SEWER AND WATER</b>	
SEWER MAIN	AIR/VAC RELEASE VALVE
SEWER FORCE MAIN	BLOW OFF
SEWER SERVICE	GATE VALVE
WATER MAIN	TEE W/ CONC BLOCKING
SEWER MANHOLE	BEND W/ CONC BLOCKING
PIPE FLOW	RESTRAINED JOINT
SEWER CLEANOUT	REDUCER
WATER METER	SLEEVE
IRRIGATION METER	COUPLING
FIRE HYDRANT	DETECTOR CHECK VALVE
FIRE DEPT CONNECTION (FDC)	POST INDICATOR VALVE (PIV)
<b>PROPOSED POND</b>	
POND OUTLINE	RIPRAP PAD
10' POND CONTOURS	SLOPE DAGGER
2' POND CONTOURS	GRAVEL ACCESS ROAD
DESIGN WATER SURFACE	BERM
LIVE/DEAD INTERFACE	
DAYLIGHT LINE	
<b>EXISTING FEATURES</b>	
ADJACENT PLAT/PARCEL LINE	WATER MANHOLE
ADJACENT RIGHT-OF-WAY	AIR/VAC RELEASE VALVE
CENTERLINE	BLOW OFF
EASEMENT	IRRIGATION METER
SURFACE FEATURES	IRRIGATION VALVE
BUILDING FOOTPRINT	WATER WELL
TOP OF 40% SLOPE	HOSE BIB
STEEP SLOPE BUFFER	POWER POLE
EDGE OF WETLAND	GUY ANCHOR
WETLAND BUFFER	STREET LIGHT
10' CONTOURS	POLE LIGHT
2' CONTOURS	POWER VAULT
SD - STORM DRAIN PIPE	TRANSFORMER
SS - SEWER MAIN	POWER METER
SSS - SANITARY SEWER SERVICE	JUNCTION BOX
FM - SEWER FORCE MAIN	GAS METER
W - WATER MAIN	GAS VALVE
OHP - AERIAL POWER LINE	GAS VALVE
P - BURIED POWER LINE	GAS METER
G - GAS MAIN	GAS VALVE
C - BURIED CABLE	FIBER OPTICS MANHOLE
TV - BURIED TV	TV RISER
OTV - AERIAL TV	TELECOMM VAULT
T - BURIED TELEPHONE LINE	TELECOMM RISER
OHT - AERIAL TELEPHONE LINE	TELECOMM JUNCTION BOX
P/T - BURIED POWER/TELEPHONE	TRAFFIC SIGNAL
OHPT - AERIAL POWER/TELEPHONE	MAIL BOX
OHU - AERIAL UTILITIES	SIGN
FO - BURIED FIBER OPTIC CABLE	BOLLARD
X - WIRE FENCE	SOIL LOG TEST PIT
CHAINLINK FENCE	CONIFEROUS TREE
BOARD FENCE	DECIDUOUS TREE
DITCH OR SWALE	CONIFEROUS TREE TO BE SAVED
RAILROAD	DECIDUOUS TREE TO BE SAVED
GUARD RAIL	ASPHALT
RETAINING WALL	CONCRETE
ROCKERY	GRAVEL
CATCH BASIN, TYPE I	WETLAND
CATCH BASIN, TYPE II	>40% SLOPE
SD PIPE FLOW	
YARD DRAIN	
STORM CLEANOUT	
STORM DRAIN STUB	
STORM CULVERT END	
SEWER MANHOLE	
SEWER CLEANOUT	
SS PIPE FLOW	
SEWER STUB	
SEPTIC LID	
FIRE HYDRANT	
WATER METER	
GATE VALVE	



TRACT TABLE		
TRACT	AREA	DESCRIPTION
A	42,686 SF (0.98 AC)	STORMWATER
B	22,921 SF (0.53 AC)	STORMWATER
C	1,605 SF (0.04 AC)	O.S.
D	3,171 SF (0.07 AC)	O.S.
E	3,196 SF (0.07 AC)	O.S.
F	15,106 SF (0.35 AC)	O.S.
G	18,745 SF (0.43 AC)	O.S.
H	243,967 SF (5.60 AC)	O.S.
I	395,452 SF (9.08 AC)	O.S.
J	499,499 SF (11.47 AC)	O.S.
K	12,835 SF (0.29 AC)	P.A. & U
L	666,401 SF (15.30 AC)	O.S.
M	29,841 SF (0.69 AC)	O.S.
N	21,218 SF (0.49 AC)	STORMWATER
O	515,897 SF (11.84 AC)	O.S.
P	234,872 SF (5.39 AC)	O.S.
Q	14,967 SF (0.34 AC)	P.A. & U
R	121,398 SF (2.79 AC)	FUTURE DEVELOPMENT
S	10,498 SF (0.24 AC)	O.S.
T	1,917 SF (0.04 AC)	O.S.
U	68,281 SF (1.57 AC)	FUTURE DEVELOPMENT
V	10,125 SF (0.23 AC)	SECONDARY ACCESS (PUBLIC)
W	6,586 SF (0.15 AC)	P.A. & U
X	170,320 SF (3.91 AC)	O.S.
		3,131,501 SF (71.89 AC) TOTAL

**ABBREVIATIONS**  
 O.S. OPEN SPACE  
 P.A. & U PRIVATE ACCESS & UTILITIES

**BLUELINE**

25 CENTRAL WAY, SUITE 400,  
 KIRKLAND, WA 98033  
 P: 425.216.4051 F: 425.216.4052  
 WWW.THEBLUELINEGROUP.COM

SCALE: AS NOTED  
 PROJECT MANAGER: BRETT K PUDISTS, PE  
 PROJECT ENGINEER: BRETT K PUDISTS, PE  
 DESIGNER: DOMINIQUE GABALDON  
 ISSUE DATE: 7/14/2020

NO	DATE	BY	REVISIONS

**SITE PLAN & LEGEND**

**TRIAD MAPLE**

**PRELIMINARY ENGINEERING**

CITY OF WENATCHEE WASHINGTON

7/15/20

JOB NUMBER: 18-354  
 SHEET NAME: SP-01

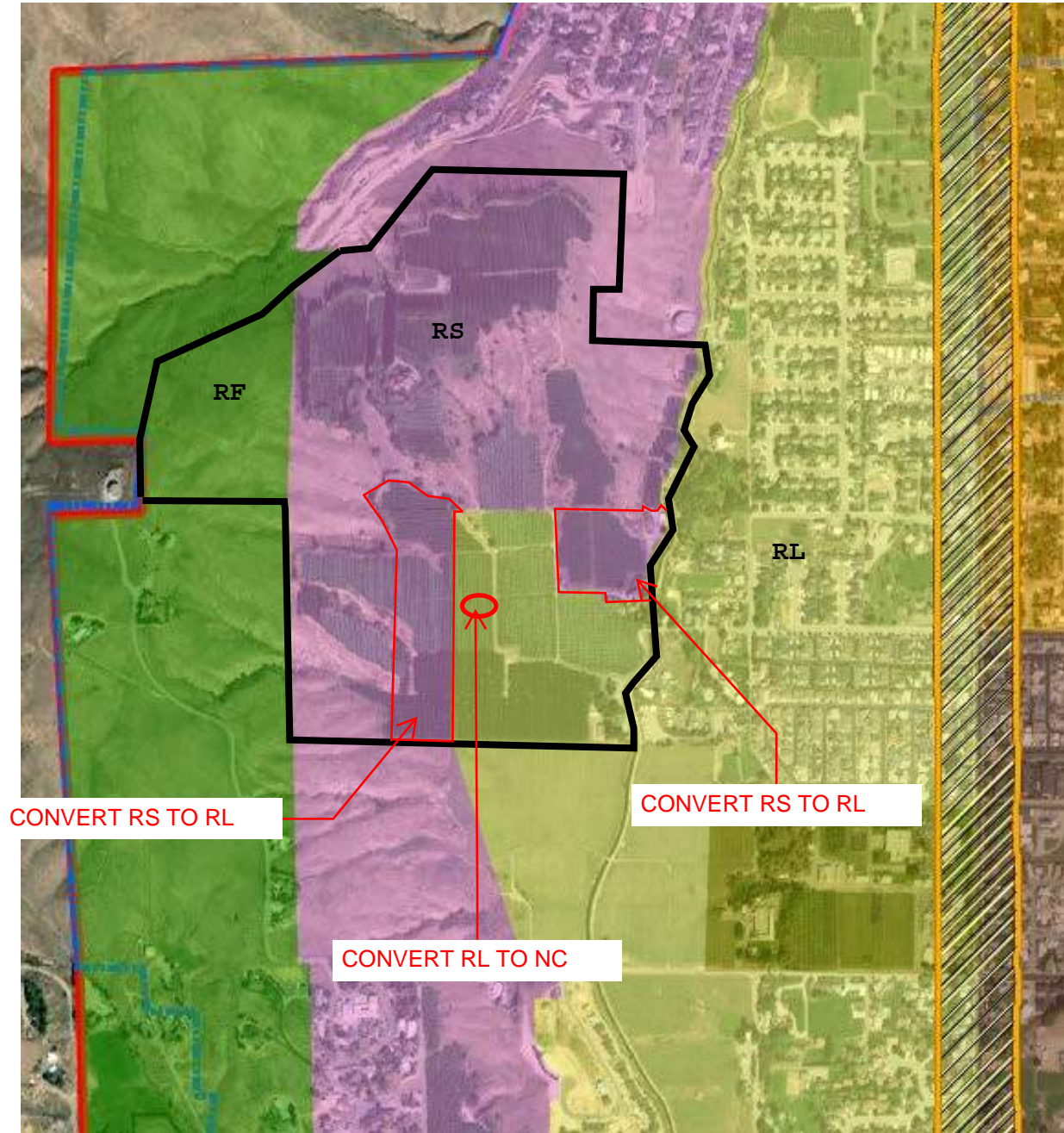
SHT 2 OF 48

2/2/24 Jul 14, 2020 5:08pm User: dgabaldon  
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# Triad Maple Comprehensive Plan Amendment

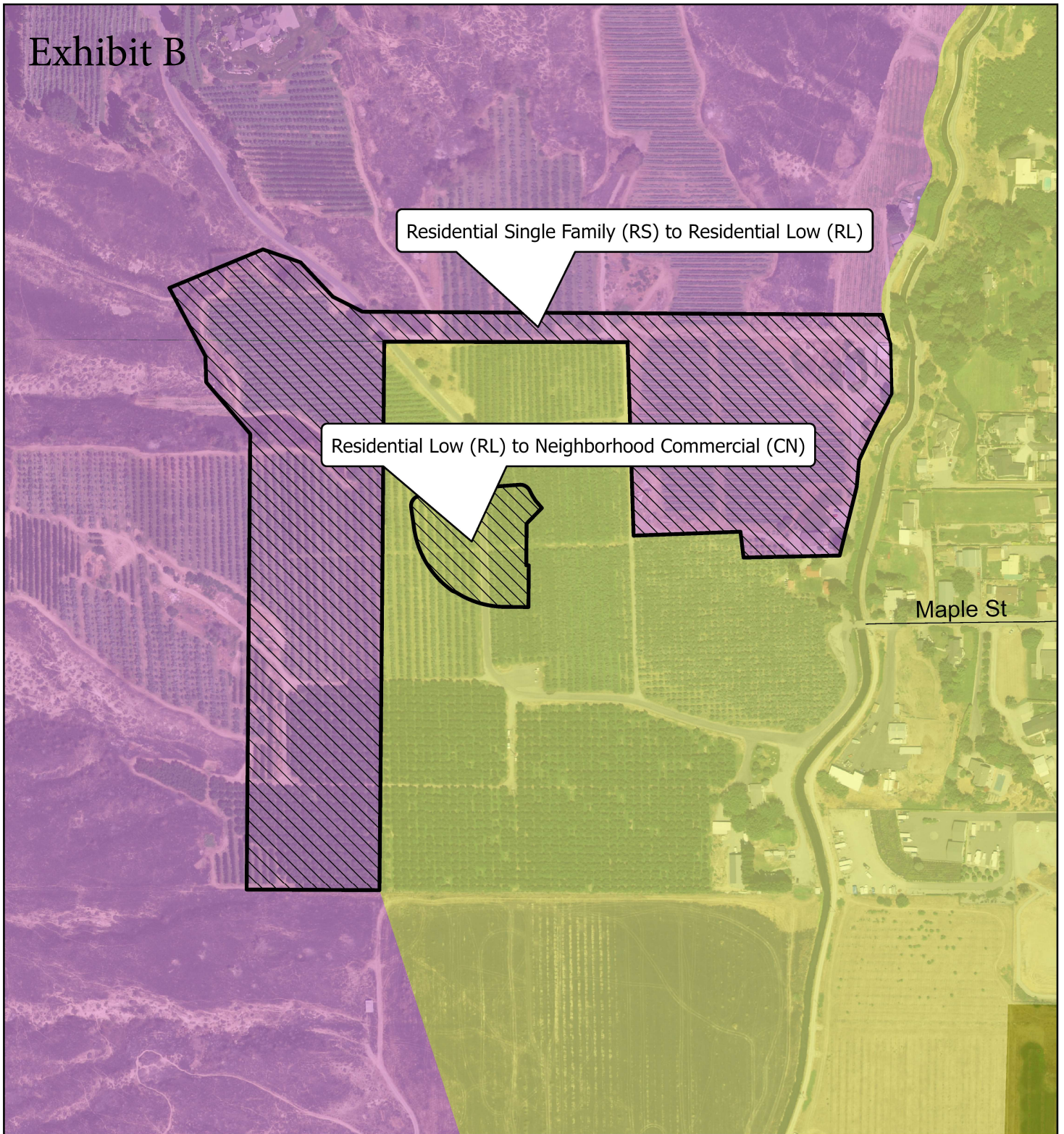
Aerial with Conceptual Map Change



BLUELINE



# Exhibit B



## Documentation of Proposed Amendments to Zoning and Land Use Maps - 2020

- Streets
- City Limits
- Urban Growth Area
- OMU - Office Mixed use
- RL - Residential Low
- RS - Residential Single Family
- Proposed zoning and land use map amendments

0 100 200 400 US Feet

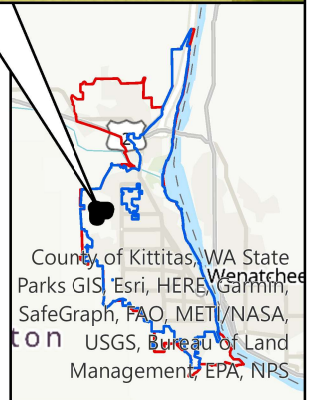
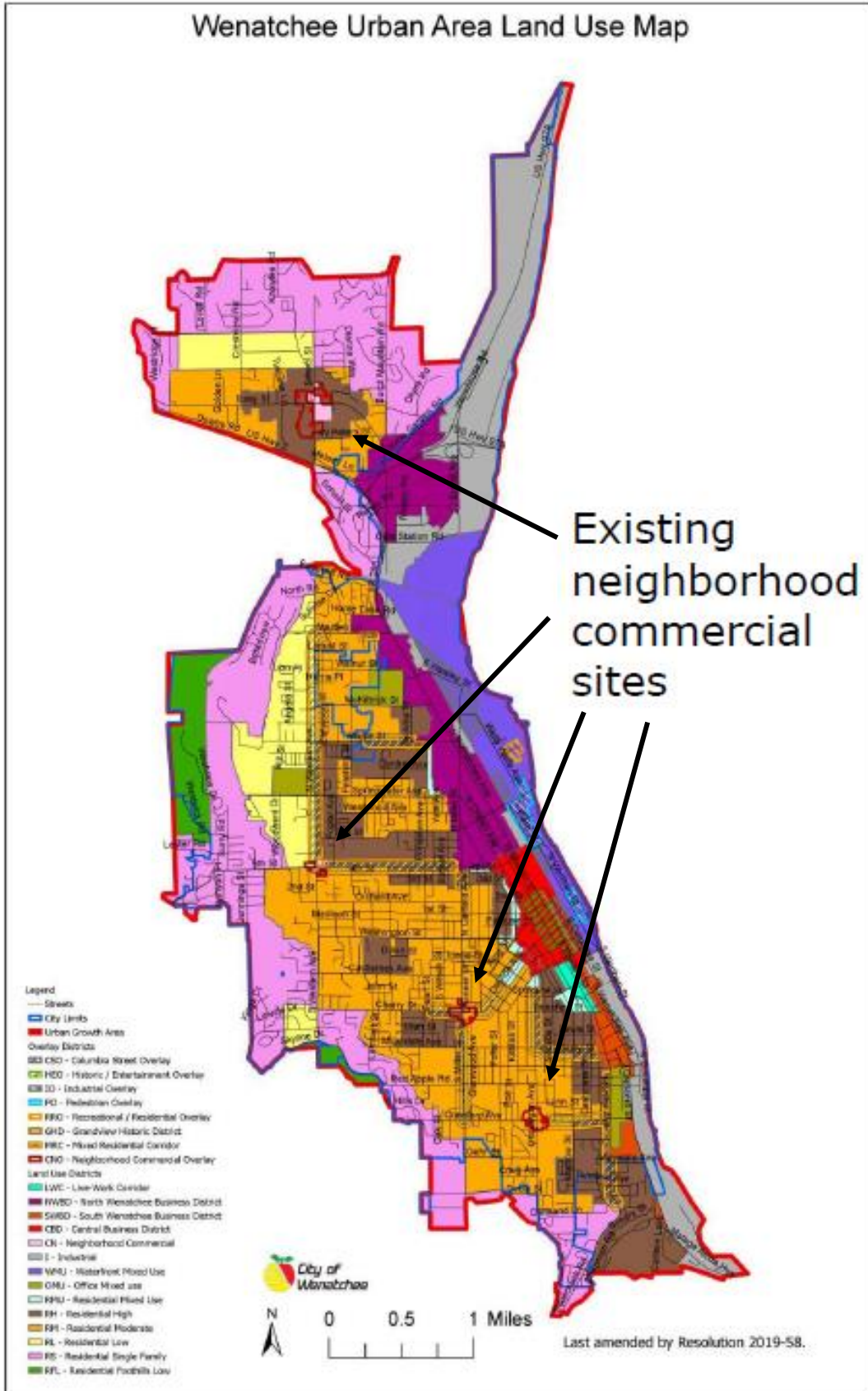




Exhibit C





**City of  
Wenatchee**

**DEPARTMENT OF COMMUNITY DEVELOPMENT**

Public Services Center

1350 McKittrick Street, Suite A

Wenatchee, WA 98801

(509) 888-3200

Fax (509) 888-3201

TO: Planning Commission

FROM: Community Development Staff

SUBJECT: Public Hearing on proposed development code and comprehensive plan amendments for 2020

DATE: November 10, 2020

Attachments: Staff Report and Exhibits A-F

A public hearing is scheduled to be held at the November 18, 2020 Planning Commission meeting on the proposed amendments to Titles 10, 11, and 13 of the Wenatchee City Code, the Official Zoning Map, the Wenatchee Residential Design Guidelines, and the Wenatchee Urban Area Comprehensive Plan. Staff will present the materials, the public will then be allowed a time to comment on the proposed amendments, PC will have a time to deliberate on the proposal, and at the end you will be asked to make a recommendation to the City Council as to whether they should approve the proposed amendments. A draft motion is included below.

The staff report describes the amendments as they are currently proposed and does not acknowledge what they were earlier in the process. As a follow-up to the last time we talked about various passages, I have included below, a list of changes that have been made since the September or October meetings.

- Removal of the proposed addition of “Contractor Yard” to WCC 10.08.050 and 10.10.020 as a land use category. Staff decided this needed further review and intend to pursue it further in 2021.
- Changed the minimum sidewalk width for CD in WCC10.46.040 from 6ft to 10ft, consistent with the sidewalk standards for principal arterials in the City Code and it better aligns with other commercial districts. In addition, with all of the pedestrian traffic that a college campus produces, a 10ft wide sidewalk was more appropriate.
- Revision to 10.48.080(2)(a)(ii) adding a provision that on corner lots that have vehicle access only off an alley, the property owner can choose which frontage is street vs street side.
- WCC10.46.080(3)(h)and(4)(g): Previously staff had proposed to provide an exception when adjacent to a 20ft alley. Staff decided to return the text to what currently appears in the WRDG which does not mention alleys.
- Further edits to the proposed WCC10.48.320 Residential Shared General Storage. Edits include:
  - Removal of extra setback to structure and replaced with size limit
  - Added a reduced building height
  - More stringent language for building materials

- Feather signs: Removed amendments to 10.50.160(7)(e)(i) because 10.50.160(6) already prohibits placement in the right-of-way and 10.50.040(2)(b) already prohibits placement closer than 5ft to the right-of-way. This resolves both what had previously been proposed by staff for this subsection and the suggestion made by PC.
- Revised text for 10.60.030(7): After further review, staff decided further edits were necessary to clearly communicate the standard and carry out the intent.
- Modified Figure 10.62.120(4): The previous version of the image included dimensions that are not included in the current version of the code.
- Added an applicability statement at WRDG A.3.6: This relates to the proposed text of 10.48.320 Residential Shared General Storage.
- Removed WRDG C.7.1.f: This subsection previously had proposed amendments but after further review staff decided that it was not necessary since it did not require anything more than WCC10.48.200.
- Added a sentence to WRDG E.6.1.a regarding applicability of the section to structures permitted as Residential shared general storage in WCC10.48.320. WRDG E.6.1.a did not previously appear in the public comment draft but the topic of building materials was addressed in the public comment draft of 10.48.320 and parts of WRDG E.6.1 also appeared in the draft.
- Added a sentence to WRDG E.6.2.a regarding applicability of the section to structures permitted as Residential shared general storage in WCC10.48.320.
- Updated Table 1 in the Land Use Element of the Wenatchee Urban Area Comprehensive Plan to reflect the latest version of the zoning/land use map.

As you have seen in previous agenda packets, in most cases, the text included with the code amendments is limited to the subsections being amended to limit the length of the packet. In order to understand the context of each section or chapter, I encourage you to review the broader section in which the amended section is located to better understand the proposal.

The Wenatchee City Code can be accessed at:

<https://www.codepublishing.com/WA/Wenatchee/>

The Wenatchee Urban Area Comprehensive Plan can be accessed at:

<https://www.wenatcheewa.gov/home/showdocument?id=22455>

The Wenatchee Residential Design Guidelines can be accessed at:

<https://www.wenatcheewa.gov/Home/ShowDocument?id=22962>

At the conclusion of the public hearing and after any discussion on the topic has concluded, staff recommends that the Planning Commission make the following motion:

**“Motion to recommend that the City Council approve the proposed amendments to Titles 10, 11, and 13 of the Wenatchee City Code, the Wenatchee Residential Design Guidelines, the Wenatchee Urban Area Comprehensive Plan, and the Official Zoning Map as presented in the materials provided, based on the findings of fact and the conclusions of law.”**

### Next steps

The City Council will hold a public hearing on all of these items at their December 10 meeting.

If you have questions on this agenda, please contact either:

- Stephen Neuenschwander at [sneuenschwander@wenatcheewa.gov](mailto:sneuenschwander@wenatcheewa.gov) or by phone at 509-888-3285; or
- Matt Parsons at [mparsons@wenatcheewa.gov](mailto:mparsons@wenatcheewa.gov) or by phone at 509-888-3253

**TO: City of Wenatchee Planning Commission**  
**FROM: City of Wenatchee Community Development Staff**  
**DATE: November 10, 2020**  
**RE: Staff Report - Annual Update to Titles 10, 11, and 13 of the Wenatchee City Code, Wenatchee Residential Design Guidelines, Wenatchee Urban Area Comprehensive Plan, and the Official Zoning Map**

## **I. REQUESTED ACTIONS**

Conduct a public hearing and formulate a recommendation to the City Council on the proposed amendments to Titles 10, 11, and 13 of the Wenatchee City Code, Wenatchee Residential Design Guidelines, Wenatchee Urban Area Comprehensive Plan, and the Official Zoning Map as outlined below:

- A. Amendments to Titles 10 of the Wenatchee City Code including proposed adoption of a new College District and College District Overlay and associated standards, revision to the Residential Foothills Low zoning district, various amendments refining codes adopted in 2019 as part of the “Housing Code Update”, and various other amendments.**
- B. Amendments to Title 11 of the Wenatchee City Code related to lot design including access and lot line angles.**
- C. Amendments to Title 13 of the Wenatchee City Code related to Type 1 administrative review of applications.**
- D. Amendments to Wenatchee Residential Design Guidelines**
- E. Amendments to the Wenatchee Urban Area Comprehensive Plan including adoption of text, policies, and land use map amendments related to the College District and College District Overlay; amendment to the land use implementation chart for the residential foothills low and residential single-family districts;**
- F. Amendments to the official zoning map aligning with the land use map amendments described above**

## **II. ENVIRONMENTAL REVIEW**

The City of Wenatchee has determined the proposed amendments to the Wenatchee Area Urban Comprehensive Plan, Wenatchee City Code (WCC), and Wenatchee Residential Design Guidelines will not have probable significant adverse impacts on the environment. The City of Wenatchee has issued a determination of non-significance (DNS). Notice of the environmental determination for the proposed amendments to the Wenatchee City Code was made on September 18, 2020.

## **III. PUBLIC PROCESS**

- Public workshop on College District proposal held on April 9, 2019 at Wenatchee City Hall

- The Planning Commission conducted workshops on parts of the proposed revisions on June 17, 2020; July 15, 2020; August 19, 2020; September 16, 2020; and October 21, 2020.
- A letter was sent to property owners located in the proposed College District Overlay (CDO) on September 1, 2020 notifying them about the proposed zoning map amendment and provided them with contact information, the project website address, and information regarding the opportunity to comment.
- The proposed amendment, environmental documents, and meeting information (including public hearings) have been posted on the City of Wenatchee website during the public comment and environmental review periods.
- Notice of the proposed amendments, environmental determination, and public hearing information was published in the Wenatchee World Newspaper on September 19, 2020.
- Notice of the proposed amendments was sent to the Department of Ecology SEPA Register on September 18, 2020. Additional notice was provided to local and regional agencies for the 60-day review and comment period/environmental determinations.
- Formal notice was provided to the Washington State Department of Commerce of the intent to adopt the proposed amendments and initiation of the 60-day review and comment period on September 18, 2020.
- On November 18, 2020, the City of Wenatchee Planning Commission conducted an advertised public hearing on the proposed amendments.

#### **IV. AGENCY AND PUBLIC COMMENTS:**

All comments received up to this time are included in this packet as Exhibit F

#### **V. PROJECT ANALYSIS**

An analysis, summary, and recommendations for the proposed amendments identified as A-E are provided below. Please refer to Exhibits A-E for each proposed amendment. Suggested findings of fact and conclusions of law applicable to the proposals are included at the end of the staff report.

##### **A. Amendments to Titles 10 of the Wenatchee City Code and the Official Zoning Map attached in Exhibit A**

The proposed amendments to Title 10 of the Wenatchee City Code, cover a wide range of topics. The four basic categories include, proposed College District and College District Overlay standards, amendments to the Residential Foothills Low zoning district, amendments refining codes adopted or amended in 2019 as part of the housing code update, and other amendments proposed by staff. The analysis below is organized by code section rather than topic:

##### **10.06 USE DISTRICTS**

##### **10.06.015 Use districts designated.**



The proposed College District is being added to the list of zoning districts and overlays.

## 10.08 Definitions

### **10.08.040 “A”**

Staff is proposing an amendment to the definition of “Accessory structure” which would remove the language “or an adjoining lot”. This means that future accessory structures (i.e. residential garages and shops) can only be built on the same lot as a primary use (e.g. a single-family home). The reason this is significant is that an accessory structure that is on the same lot as the primary use is a very different situation from a shop or garage on its own lot that then can be bought and sold independently from the primary use. The intent was that accessory structures would always be under the same ownership as the primary use it is associated with. Unfortunately, the current language implies that they could be located on an adjoining lot which could then be sold separately.

### **10.08.095 “L”**

Amendment to definition of “Lot, corner”

The purpose of this amendment is to clarify that even if a street takes a roughly 90° turn and retains the same name, the lot on the inside of the turn is still a corner lot. Under the current definition, while the intent is clear, one could interpret it to mean that only if two separately named streets intersect is a lot eligible for review as a corner lot.

### **10.08.125 “R.”**

New definition for “Residential shared general storage”

See the analysis of the proposed section 10.48.320 for the explanation of this topic. The proposed definition and addition to the district use chart (WCC10.10) contribute to this proposed new land use designation.

### **10.08.135 “T.”**

Amended definition for “Townhouse”. Staff is proposing amendments to the definition of townhouse coinciding with the proposed amendments to 10.47.130. The reason for the proposed amendments to the definition are that the current definition implies that townhouses must be subdivided. This is because “attached single-family” implies that a lot line runs between the units. The proposed definition will require townhouses to be built with the proper fire separation so that they can be subdivided in the future but does not require or imply subdivision to ever occur.

## 10.10 DISTRICT USE CHART

### **10.10.020 District use chart.**

There are a wide variety of amendments proposed to the District Use Chart. Descriptions of the amendments are included below by category:

*College District (CD)* - In order to properly understand the district use chart, it is important to first read the proposed WCC10.36.010. Next, be sure to read footnote 13 below the district use chart. Then go ahead and review the various designations provided in the chart.

The concept that staff is attempting to convey here is that a legitimate institution of higher education, located in the College District, may pursue any instructional program they desire regardless of how it may relate to the uses listed in the district use chart. For example, while “Service and repair, motorized” (i.e. auto repair) is not a permitted use in the CD, the college is able to have an automotive repair instructional program because it is within the scope of what they do as an institution of higher education and because they are running it, rather than contracting it out. The area where the City will get involved and where the district use chart needs to be consulted is if the college has a space they want to lease to a third party for a particular service. For example, if they want to lease a space for food service, that is a permitted use as “Restaurants, without drive-in or drive-through” as long as the college owns the land and building. The footnote 13 (P<sup>13</sup>) specifies that the land and building or facility must be owned by an institution of higher education so that the use must be a part of the campus rather than a stand-alone entity.

Other proposed amendments to the district use chart that do not relate to the proposed College District:

- The current code has a “P<sub>1</sub> = Permitted, not to occupy grade level commercial street frontage” and a footnote that reads “<sup>1</sup> Manufactured homes are permitted only within a mobile/manufactured home park.” The presence of two subscript/superscript 1s has potential for creating confusion. Fortunately, the context of each minimizes or eliminates potential confusion. Nevertheless, staff is proposing that the subscript be changed to a standard character size for the designations that are not footnotes. This change in nomenclature is reflected in tracked changes throughout the chart.
- Accessory Dwelling Units in commercial zoning districts. A new footnote is proposed allowing the addition of accessory dwelling units to existing single family homes located in CBD, NWBD, SWBD, and CN. Please note that these zones do not permit new single-family homes but the code considers single-family homes in existence as of Nov. 7, 2019 to be permitted uses. This change would allow those existing single-family homes to establish accessory dwelling units. A table is provided below to give an indication about how many single-family homes may exist in each of these zones. Please note that actual conditions almost certainly vary from these numbers. Also, please know that the assessor’s land use code is not a criteria for being determined a particular use by the city.

	CBD	NWBD	SWBD	CN
Parcels with single family units*	51	54	97	7
Total parcels	407	465	299	14

\*Parcels that the Chelan County Assessor lists Land Use Code “11” which is for “SINGLE FAMILY UNITS”. This does not mean that the City of Wenatchee considers the improvements to these parcels to be single family dwellings.

- Staff proposes removal of the code reference for “modular homes” because the referenced code section does not relate to modular homes; it was placed there by mistake.
- New land use category for “Residential shared general storage”: See the analysis of the proposed section 10.48.320 for the explanation of this topic. The proposed definition (10.08.095) and addition to the district use chart WCC10.10 contribute to this proposed new land use designation.
- Home Occupations: Staff is proposing that home occupations (home based businesses) in the RS, RL, and RF zones be changed to permitted uses (P) rather than conditional uses (C) as they are now. This means an applicant would need to apply for a business license and a Type I administrative land use permit, see revision proposed for Section 13.09.030, rather than applying for both a business license and a conditional use permit. In staff’s opinion, the home occupation standards in [WCC10.48.100](#) are adequate and the Type III process does not add anything substantive to the review but does add a substantial burden on the applicant including a higher permit fee, more complicated application materials, some uncertainty, and additional review/processing time. The RM and RH zones both designate home occupations as a permitted use.
- The purpose of the change from “Accessory building, residential” to Accessory structure, residential” is to align with the terminology used in 10.08.040 and 10.48.030.
- The proposed revision to the Residential Foothills Low district include the addition of duplexes, patio homes and single-family clustered lots as development options. The addition of these housing types will provide flexibility to property owners to develop the property with a variety of housing types. The addition of clustering as an option would allow the property to identify and set aside a certain amount of open space that could be used as a fire break, for the retention and preservation of open space, recreational trails and to maintain the open feel of the foothills.

## Chapter 10.11 Residential Foothills Low (RF) District

Revisions to this chapter include the deletion of standards that are regulated in other locations in the City code such as the Wildland Urban Interface in Chapter 3.36, stormwater, critical areas in Title 12 and street standards in Title 11.

**10.12.005, 10.14.005, 10.18.005, 10.26.005, and 10.28.005 Purpose.**

Staff is proposing language that better aligns with the description of these zones found in the Land Use element's implementation chart as well as some other revisions that better align the descriptions between zones where appropriate.

**10.24.050(3) Central Business District Development Standards – affordable housing incentive**

The existing standard grants an additional story to a building when the developer provides the required amount of affordable units. This was a good framework when we regulated by stories up to a maximum height but now that we just have a maximum height it is a little unclear how this would work, except that adding additional height would conflict with the standard set in the Comprehensive Plan. The code cannot conflict with the Comprehensive Plan so no additional height can be granted. Staff supports pursuing the adoption of affordable housing incentives in the future but feel that additional time and research is necessary to develop an informed and appropriate framework.

**10.32.050 Waterfront Mixed Use (WMU) Development Standards – affordable housing incentive**

See discussion above for 10.24.050(3).

**10.36 COLLEGE (CD) DISTRICT**

The Wenatchee Valley College (WVC) campus is located in the Residential High Zoning District. The land use category called "Institution of Higher Education" is a conditional use in RH meaning any time WVC applies to build or substantially renovate a building, they must apply for a conditional use permit (CUP). Furthermore, the standards that currently apply to campus development projects are not specific to a college campus. The City of Wenatchee hired Makers Architecture and Urban Design to develop design standards for the proposed College District. The main focus of this project is to adopt appropriate design standards that mitigate any negative impacts the campus may have on surrounding neighborhoods and make institution of higher education a permitted use. The Comprehensive Plan has policies about revising land use designations to address existing non-residential land uses in residential zones such as schools, higher education, parks, cemeteries, etc. One of the reasons for this approach is that a college campus is a unique land use that deserves its own set of design standards. Also, continuing to require conditional use permits for established institutional uses can be a waste of time for both staff and the applicants.

The architectural standards proposed for the College District are focused on the façades visible from the perimeter of campus. The proposed code has two sets of architectural standards for facades visible from the public right-of-way based on their distance from the street. The idea behind this differentiation is that buildings positioned closer or farther than 60ft away are perceived differently therefore different standards should apply.

- Structures between 15ft (minimum street setback) and 60ft from the public ROW or an adjacent property not under college ownership are held to standards focused on avoiding or treating blank walls to ensure they are aesthetically pleasing. The proposed code provides a variety of ways for the applicable standards to be achieved.
- For buildings greater than 60ft from the public right-of-way, articulation and modulation standards are proportional to their distance from the right-of-way meaning the farther away the structure is, the wider the interval articulation or modulation must be demonstrated. The proposed code provides a variety of options for how articulation or modulation is achieved.

Other notable aspects of this section include:

- Standards to ensure that storage and service areas are properly screened from view through a combination of site planning and screening.
- Standards to help promote safety and security through environmental design. The concept behind these standards is that people will be safer if they remain visible from much of the surrounding area as they move about campus and also if situations are avoided where a person could potentially be cornered.
- Design standards for above grade structured parking located within 60ft of the right-of-way.

#### **10.40 Overlay Districts and Standards**

- **10.40.040 Waterfront recreational/residential overlay (RRO).**

This is another example of a place in the code where we still have a story-based height standard. Please note that 10.46.050 limits building height in this overlay to 60ft which is consistent with other zones or overlays that prior to the 2019 update had a height limit of “4 stories or 60ft”. Removing this height limit also limits potential confusion as height limits are typically found in 10.46 rather than a section or chapter for a zone or overlay.

- **10.40.070(2) Mixed Residential Corridor (MRC) building height exception**

This is another example of a place in the code where we still have a story-based height standard. In this case an extra story would be granted if structured parking was utilized. It appears that this would have only been applicable where the underlying zoning district was RH as it was the only residential district with a

story-based height standard (4 stories up to 60 feet). Now that all districts just have distance-based height standard, granting a bonus story does not have much meaning. Staff recommends removal of this provision.

#### **10.40.090 College district overlay (CDO). [new section]**

The purpose of this designation is to allow the college to easily rezone the property to be in the College District once they acquire the property. The existing property owners will not be affected by the addition of this overlay as it only applies if WVC acquires the property. The rezone would be completed through a Type III process which goes to the Hearing Examiner for review. WVC would not need to wait until an end of year Comprehensive Plan update but rather could complete the rezone as quickly as in a few months. After the process is complete, WVC could apply for building permits under the codes applicable in the College District. This approach is patterned after the neighborhood commercial overlay already in the City code.

#### **10.42.060 Planned Developments Criteria and Requirements**

- In this section, staff is proposing that certain subsections be readopted that were erroneously repealed with the adoption of the scrivener's error ordinance ([Ordinance 2020-07](#)) that was adopted in February. When the housing code update was adopted, certain errors were made in the formatting of codes for the ordinance, specifically relating to how tracked changes were handled resulting in sections that were intended for removal that were not indicated for removal in the ordinance. After adoption, when staff compiled a list of errors that needed to be fixed, somehow staff made another error in indicating that all of 10.42.060 should be repealed. The proposed amendment, returns this section to what the Planning Commission recommended for approval on October 16, 2019.

#### **10.46 DEVELOPMENT STANDARD CHARTS**

##### **10.46.020 Residential Development Chart**

The proposed amendments to this section relate to multiple objectives and projects which are discussed separately below:

- Revisions to the Residential Foothills Low development include a variety of standards that would implement an increased density from two (2) to four (4) dwelling units per acre. These include revisions to lot area (both for traditional and clustered lots), lot width at the point of access, lot widths and depths, setbacks, lot coverage, and the maximum allowed density.
- Lot width at point of access – After adoption of the housing code update, staff realized that the code no longer had a minimum width at street frontage standard as existed in the former code. The amendments in this table seek to reinstate the

standards that existed prior. The two departures are the framework and terminology as well as the standard for the Residential Foothills Low (RF) zoning district. The terminology has been changed to reflect the range of access options we permit in the subdivision process which don't always include street frontage (see WCC11.20.050(1)). The change to Residential Foothills Low is because, while the former code did not include a minimum lot width at street frontage for RF, a standard is in the City's best interest and aligns with other districts.

#### **10.46.030 Mixed use development chart**

See discussion above about lot width at point of access.

#### **10.46.040 Nonresidential district development chart.**

The new column for "CD" in the "Nonresidential development chart" defines the dimensional standards applicable to development applications in this district. The 15ft street setback is larger than the existing 10ft street setback in RH but it aligns with the street setback on the south side of 5<sup>th</sup> street in RM. If the college ever built buildings up to the street setback on 5<sup>th</sup> or 9<sup>th</sup> St the buildings would be the same distance from the ROW as the buildings on the opposite side. This helps preserve the character of the area. The height will remain at 60ft however within 35 feet of the ROW, the building height can only be 35ft. The combination of street setbacks and building height within 60ft of the ROW will help maintain a streetscape expected in RM while also allowing taller buildings.

A new row in the table is proposed for "Lot width at point of access" which is a standard that existed prior to the housing code update and which is being reestablished. See discussion above for 10.46.020.

#### **10.46.050 Overlay development chart.**

- Lot width at point of access: see discussion above for this topic on 10.46.020.
- MRC: Staff thought that it would make more sense for the lot dimension standards in this overlay to match the underlying zoning district.

#### **10.46.070 Minimum lot width and depth calculations.**

- Subsection (3) – This proposed text is the explanation of how to measure lot width at point of access, which we are proposing be re-added to the development standards chart.

**10.46.075 Lot line angles:** The City's subdivision code (Title 11) has had standards for lot design that include standards for lot line angles for a long time. In the 2019 Housing Code Update, that same language was adopted into 10.46.075 so that it would also apply to boundary line adjustments. Application of the side lot line angle standard is

often challenging when attempting to achieve good lot design while also considering features such as topography, utilities, and access.

The proposed amendment provides guidance to the shape of lots (a preference for generally rectangular lots and avoiding flag lots), minimizing the number of angles, and requiring side lot lines to be within 20 degrees of perpendicular to the street for at least half the minimum lot depth requirement. While the lot design objective is largely the same, staff believes that the revisions included in this packet will provide the necessary flexibility while simultaneously providing needed guidance.

#### **10.46.080 Setback measurements and exceptions**

- Edit to (2)(a)(ii): Staff proposes clarification that the street setback on corner lots shall be the lot line that includes the vehicle access (i.e. garage or carport if applicable) to better allow adequate sight distances when backing out of a driveway, while the front door can be on either the street setback or street-side setback sides. Garages are required to be setback 20ft, per 10.46.020. The other lot line shall then be designated as the street-side setback. If the vehicle access is from an alley, the property owner can choose which frontage will have the street vs street side setback.
- Edit to (2)(c)(ii)&(iii): Our code has long had a list of setback exceptions and at times it didn't always make it clear which ones could be combined and which ones couldn't. The deletion of (2)(c)(ii) and modification of (2)(c)(iii) are a good example of an important fix to avoid future confusion. The current code could be interpreted to allow a lot in RS, RL, or RF that is part of a cluster subdivision or served by a private lane to have a 10ft front yard setback if the garage is behind the front of the house. That is not the kind of streetscape that is intended in those zones. Staff believes these edits will maintain the intent of these exceptions.
- Edit to (2)(d): This is another situation where we are replacing the term "non-residential" with "commercial" for consistency and some additional clarity.
- Edit to (2)(d)(ii)(A): The current code reference does not make sense, staff believes this edit carries out the intent.
- Edit to (3)(g): The code prior to the housing code update allowed an owner of a corner lot to choose which property line was the side or rear among the two not fronting on a street. This code amendment would reinstate this provision.
- Edit to (3)(h) and (4)(g): This was taken from the Wenatchee Residential Design Guidelines (WRDG) Section C.6.2 because staff felt that a setback standard needed to be with other setback standards. Leaving it in its current location could result in a situation where a developer learns about this setback requirement later in their design process.

#### **10.46.090 Building height calculations, exceptions, and modifications.**



- New subsection located at (2)(d): This standard specifies that building height in the CD is limited to 35' when a structure is located within 60' of the public right-of-way. While this is more restrictive than the current standard, it will help ensure a level of compatibility with surrounding neighborhoods, particularly where the zoning on the other side of the street is RM.
- Edit to (1)(b): This is simply a quick fix to this section addressing building height. Staff is hoping to bring the topic of building height to you in a more substantive way in the future but we do not have time for that this year. The first edit aligns the text with the image so that the reader is clear it only applies where the slope exceeds 15%. Also, the word "any" was added to clarify how the standard applies if there are multiple facades on the downslope side as could very likely happen.

### **10.46.110 Density calculations**

Staff is proposing the addition of subsection (3) in order to bring our code into compliance with [RCW35A.63.300](#) which was adopted by the state legislature in recent years:

- In regard to (3)(a), examples of density exceptions in the code include 10.47.080(2)(d) Infill Cottage, 10.47.090(2)(3) Cottage Housing, and 10.47.120(2)(d) Courtyard housing which all provide additional density than would be otherwise allowed in 10.46.
- In regard to (3)(b), this is being proposed in order to align our code with [RCW35A.63.300](#) which was adopted by the state legislature in recent years. This law allows additional density for religious organizations constructing affordable housing. To read the text of [RCW35A.63.300](#) either click on the link provided or enter that code reference in an internet search engine.

### **10.47 Residential Use Standards**

#### **10.47.015 Applicability**

- Staff is proposing the addition of this section to help clarify how the standards apply to both new construction and conversions.

#### **10.47.040 Accessory dwelling units (ADU)**

Staff is proposing some technical fixes and clarifications to this section.

- Edit to (2)(c): WCC10.10 District Use Chart allows ADUs in the RF zone, so it only makes sense that if we require owner occupancy in RL and RS, that we would also require it in RF.
- Edit to (2)(k)(ii): This is a clarification that this owner occupancy requirement only applies in RL, RS, and RF as previously stated in (2)(c).

- Edit to (2)(l) and (3)(b): The code currently in (3)(b) should really be in subsection (2) because it applies to both ADUs and DADUs. The text has been further edited to clarify how it applies to open space standards.
- Edit to (3)(c)(iii) (proposed to be renumbered as (3)(b)(iii)): This additional sentence clarifies how the setback/daylight plane applies if a structure is setback more than the minimum setback.

#### **10.47.050 Single-family dwellings**

- Edit to (2)(f): This provision allowing multiple single-family homes on a lot is difficult to administer and staff believes these revisions will help to better carry out the intent. This is a standard staff will need to continue to monitor as applications come in.

#### **10.47.080 Infill-cottage housing (two to three units)**

- Edit to (2)(k): This edit is proposed in order to more directly cite 10.62. The section of the design guidelines that is cited simply directs the reader to WCC10.62.

#### **10.47.120 Courtyard housing**

- Edit to (2)(d): This includes both a grammatical correction and a mathematical correction.

#### **10.47.130 Townhouses.**

Staff is proposing a variety of amendments to this section in order to carry out the original intent. Some of the language was confusing and other parts had dimensions or other standards that didn't seem to align with the intent. Below is a description of the amendments to each subsection:

- (2)(a)(iv) – There are two things being fixed here. First, townhouse developments are not required to have common open space, only private open space, so having a setback standard from common open space is confusing so it is being removed. Second, the use of the term “front façade” was very confusing even if we know what was intended because a front façade is defined in 10.08 as facing a street when clearly that is not what is being addressed here. Instead the text has been reworded to more clearly address the issue.
- (2)(a)(v) – This subsection has been reformatted into a list for ease of reading and substantially revised to be less confusing and have appropriate dimensions. In regard to (A) where the setback is reduced to 15 feet, please note that (C) establishes a 20ft setback to a garage or carport ensuring that a vehicle will have adequate space to avoid blocking the sidewalk or sticking out in the driveway.
- Figure 10.47.130(c) was relocated to be beneath the subsection it is associated with.

- (2)(d)(ii) – Staff believes that the word “across” better meets the intent of the standard rather than “along”.
- (2)(d)(iii) – This new standard provides clarification about parking lot dimensional standards that ensures that required off-street parking spaces have enough space for the vehicle to maneuver out of its space. For example, an internal drive aisle may only be 20ft wide but if it has parking spaces perpendicular to it, it should really be 25ft wide at that point to match the parking lot dimensional requirements found in 10.60.030.

#### **10.47.150 Multifamily development.**

Staff is proposing the following amendments

- (2)(d)(i) – This subsection has been reworded to better communicate the intent.
- (2)(g)(iii) – Fixed some issues with grammar and terminology.
- (2)(j) – This subsection refers to the new proposed section 10.48.320 Residential Shared General Storage

### **Chapter 10.48 GENERAL DEVELOPMENT REGULATIONS**

#### **10.48.040 Pedestrian connections.**

- Edit to the last sentence: The term “broader development” is not clear and after the housing code update is likely unnecessary. The reason for the reference to 10.47 is that Cluster Single-Family requires pedestrian connections so we don’t want to create a conflict in the code.

#### **10.48.130 Fences and clear view triangle.**

Edit to (1): Staff believe this revised language will better communicate the city’s residential fence standards.

#### **10.48.320 Residential Shared General Storage**

Staff is proposing a new land use category which would provide an option and associated standards for a storage area in larger developments. Multi-family developments are already allowed to have storage areas and there is a screening standard in WCC10.47.150(2)(j). For developments of 20 units or more, this section would provide more stringent standards. This would also extend this provision to residential development types other than multi-family. Below is a summary of the standards:

- This section only applies to storage areas in developments of 20 dwelling units or more.
- A provision requiring that covenants be recorded addressing use of the storage area and maintenance, including landscaping. While this does not guarantee enforcement, it is another tool that should help.

- A provision requiring any landscape buffers be at least 10ft wide to limit impacts on surrounding properties.
- Floor area limited to 5,000SF for structures, building height limited to 25 feet.
- A standard requiring that any storage structures be finished with exterior materials complying with WRDG E.6. This ensures a certain amount of compatibility while still allowing the building to have the plain boxy characteristics typical of a storage building.
- A limit of 250 SF per dwelling unit, not including necessary circulation, drive aisles, or hallways, was added to limit the overall size to ensure not too much land is used for storage.

## **10.50 SIGNS**

Amendments to the sign code relate to the new College District and addressing some concerns with feather signs.

### **10.50.060 Sign illumination.**

The proposed amendments relate to adding the new proposed College District (CD) to this section. While CD is a commercial zone, staff tried to maintain the current range of illumination options the campus has in its current residential zoning designation.

### **10.50.070 Signs types permitted by zone.**

The sign types permitted in the CD mostly align with what is permitted currently in its residential zoning designation which can be found in WCC Table 10.50.070(2). The main departures include permitting projecting signs and allowing the full copy area and height. Projecting signs can only project 8ft from the building and the street setback is 15ft so they would never be in the right-of-way. As the proposed code is currently written, the CD would allow the same sign sizes as other commercial districts.

### **10.50.090 Supplemental freestanding sign design standards.**

- (4) Building Name Signs – Staff is proposing the addition of a new subsection that would allow building name signs to be freestanding in addition to the wall mounted building name signs that are already permitted. This provision only applies in the College District. There are a variety of standards that staff believes will ensure these signs are the proper scale, type, and location.

### **10.50.160 Temporary sign standards.**

- (7)(e) Type 5 – Feather Signs – The addition of a 90-day limit for each individual feather sign per calendar year is similar to other temporary signs. This standard will be difficult to enforce until a permitting process is established for temporary signs, however, having a standard is better than simply allowing them to remain displayed indefinitely.

## **10.60 Off-Street Parking**

#### **10.60.030 General requirements.**

- (7) – The comparison of this subsection and 10.48.120 can create some confusion for the reader. Staff feels it would work better to simply cite 10.48.120 for the sake of consistency.
- (9) Staff is proposing a standard be added for tandem parking. The proposal only applies for residential developments and requires that the two parking spaces both be assigned to the same unit, is limited to just two spaces in depth, and the geometry of the parking area must meet all other dimensional requirements applicable to parking areas.

#### **10.60.060 Parking reduction incentives – Public parking lots.**

- (1) - The amendments to this subsection further clarify how this is administered and ensure that a public agency's parking lot is not committed to providing parking for an adjacent property without their consent. This codifies what was generally staff's practice in administering this provision.
- (3) – Staff is proposing the addition of a standard that would not allow the provisions of this section to be used to decrease a parking rate below one space per dwelling unit. A similar provision is being proposed in some of the subsequent sections.

#### **10.60.070 Parking reduction incentives – Transit.**

- Staff is proposing the addition of a standard that would not allow the provisions of this section to be used to decrease a parking rate below one space per dwelling unit.

#### **10.60.075 Alternative parking analysis/transportation demand management (TDM).**

- Staff is proposing a provision prohibiting this section from being combined with other parking reduction incentives.

### **10.62 Landscaping Standards**

#### **10.62.070 Commercial and industrial zones.**

- (3)(e)(ii) – Staff found that the current language was confusing and feels that the proposed amendments make this passage easier to understand.

#### **10.62.100 Residential zones and WMU recreational/residential overlay.**

- (3)(d)(iv) – After further review of this subsection, staff feels the proposed language works better and is less confusing.

#### **10.62.120 College District Zone. [new section]**

- This new proposed section would provide landscaping standards specific to the College District.

- (2) The street frontage landscaping subsection describes a framework for a double row of trees along the street frontage, one on each side of the sidewalk, of new buildings or substantial remodels or additions.
- (3) Perimeter landscape screening requires a 6ft landscape buffer between campus and adjacent properties and made up of trees, shrubs, ground cover and/or fencing.
- (4) Parking lot landscaping in CD augments 10.62.140 by adding a more robust street frontage standard which includes a row of trees on each side of the sidewalk.
- (5) Street landscaping requires street trees for new developments located between the sidewalk and the curb.
- (6) Façade buffer planting provides for buildings greater than 45ft from the ROW to have certain plantings in front of the building.

**B. Amendments to the official zoning map align with the land use map amendments described in section E.**

- Map amendments proposed by Triad Maple LLC are addressed in a separate staff report and are not included in the recommendation below however they appear in the proposed zoning map for the Wenatchee UGA.
- The proposed College District contains all of the land owned by Wenatchee Valley College, or Washington State on their behalf, that is north of 5<sup>th</sup> St. It also contains a parcel owned by the Wenatchee Valley Museum and Cultural Center where the Wells House is located.
- The College District Overlay (CDO) contains areas that WVC plans to potentially purchase and expand into over the next 30 years and also a little more area to round out the boundary to the nearest public right-of-way to make a clean boundary.

Staff recommends **Approval** of the proposed amendments to Title 10 of the Wenatchee City Code and the official zoning map based upon the suggested findings of fact and conclusions of law enclosed at the conclusion of the staff report.

**C. Amendments to Title 11 of the Wenatchee City Code related to lot design including access and lot line angles.**

Edit to (1): In the housing code update a (9) was added to 11.20.020 but this subsection was not amended accordingly so the numbers are off. This amendment will fix this error.

Edit to (7): See analysis for 10.46.075 above.

Staff recommends **Approval** of the proposed amendments to Title 11 of the Wenatchee City Code, based upon the suggested findings of fact and conclusions of law enclosed at the conclusion of the staff report.

**D. Amendments to Title 13 of the Wenatchee City Code related to Type 1 administrative review of applications.**

- Edit to (2): This language better communicates what this review process applies to.
- Edit to (3): The city does not require permits for fences. The application of the Type I administrative for land uses such as parking lots, mobile vendors and home occupations will provide the city with needed land use review for uses that have zoning standards yet not a formal review process. The items listed are currently difficult to review and administer with the current system and making them a Type I application will greatly help implement the zoning code.
- Edit to (5): Fill and grade permits are handled by public works and therefore are not reviewed under Title 13. Sign permits are an important item to include.

Staff recommends **Approval** of the proposed amendments to Title 13 of the Wenatchee City Code, based upon the suggested findings of fact and conclusions of law enclosed at the conclusion of the staff report.

**E. Amendments to Wenatchee Residential Design Guidelines**

The proposed amendments to the Wenatchee Residential Design Guidelines include many minor revisions relating to grammar or terminology. The analysis below focusses on substantive revisions.

Table of Contents – see discussion on C.3 below.

A.3.1 – Amendment to the applicability of WRDG to Manufactured home communities to better align with cottage housing which the standards are modeled after.

A.3.5 – This additional text clarifies how conversions are handled which staff believes is not clear in the current draft.

A.3.6 – This additional text allows the storage structures permitted under WCC10.48.320 to be held to the building material standards.

B.1.2 – The current version has text and pictures in this section that do not match the title. The content here has been corrected.



B.3 – These edits take care of a few things:

- “WCC” references the wrong document so it should be deleted. The references are for the WRDG.
- If you look at D.1.4, you will see all it does it reference the landscape code. This might create confusion as someone might think that they are exempt from certain landscaping standards when they are not.
- The change from E.2.4 to E.2.1 is a correction of the number system which will be explained below.

C.1.1 Ground-related units facing streets

- The adopted version failed to include the text in C.1.1.d.ii and the text associated with Figure C.1.d.i and are added back in this update. This text appeared in early versions of these design guidelines which the PC reviewed in 2019.

C.1.3. Location and configuration of parking facilities facing a street front

This added text in C.1.3.a simply provides clarification of how the two sections interact. While both our code and design guidelines require parking lots to be behind or to the side of buildings, our code allows exceptions to be granted by the director when site infeasibility can be demonstrated. This clarifies that if an exception is granted in the code, there is not a conflict with the design guidelines.

C.3 Multifamily open space

The term “multifamily” is deceiving as our cluster single family code cites this section and therefore it applies to more than just multifamily developments. The generic term “residential” will be more appropriate.

C.4.1. Vehicular access – general

- d: The reference to RS, RL, and RM is proposed for removal because it falsely implies that garage setback standards only applies in those zones when all residential zones have a standard for setback to garage.

C.6.2 Light and air access and privacy near interior side and rear property lines.

See analysis for WCC10.46.080 above, specifically, the last bullet.

C.7.1. Location of ground related service areas and mechanical equipment

- Staff proposes that this subsection be removed because there is nothing in it that WCC10.48.200 Refuse storage doesn’t already provide.

D.1.1. Reference to Chapter 10.62 WCC Landscaping and Screening

The first sentence in D.1.1.b is in conflict with our Landscaping Code and should be deleted.

D.5.1. Requirements for fences and walls

- Edit to D.5.1.e – Staff feels it would be difficult to enforce a standard requiring that chain link fences be black vinyl coated.

- Deletion of D.5.1.f: Staff feels that it does not help to have two different fence standards so this one should be removed.

#### E.2.4. Architectural character of different residential areas

- Staff is not sure why this section started at E.2.4 but we feel we should change it to a more logical reference number which would be E.2.1. The appropriate corrections have been made where this section is cited.
- E.2.4.c.ii: This standard functions as a relief valve for conflicts between staff and applicants regarding the standards in this section. The current language is very vague so staff feels this proposed language will provide adequate guidance if anyone ever wants to utilize this provision.

#### E.5.1. Building entrances: Configuration and details

- Staff believes this text will better communicate the applicability of this section.

#### E.5.2. Window details

- Staff believes this text will better communicate the applicability of this section.

#### E.6.1. Conditions for the use of specific building materials

- E.6.1.a: The added sentence allows it to apply to Residential shared general storage in WCC10.48.320.
- E.6.1.c.i: This standard would not apply to non-residential buildings (only residential and mixed use) so non-residential buildings should not be mentioned.
- E.6.1.d.i: The terminology regarding cement board siding was internally inconsistent and appears to not match commonly used terms for the applicable materials. Staff believes the proposed edits will improve this section.
- E.6.1.e.i: Staff believe these edits will help clarify the meaning and intent of this section.

#### E.6.2 Building materials allowed in specific character areas

- E.6.2.a: The added sentence allows it to apply to Residential shared general storage in WCC10.48.320.
- Table E.6.2: Terminology has been updated to align with E.6.1.d.i. Also, there were certain cells in the table that had confusing markings. Staff believes this will clear things up. In regard to “Concrete” and “Stucco” in all character areas and “Lap siding, wood singles or similar” in “N/S Wenatchee Business District” or “Greater Downtown”, please let staff know if you think a change should be made.

Staff recommends **Approval** of the proposed amendments to the Wenatchee Residential Design Guidelines, based upon the suggested findings of fact and conclusions of law enclosed at the conclusion of the staff report.

### **F. Amendments to the Wenatchee Urban Area Comprehensive Plan including adoption of text, policies, and land use map amendments related to the College District and College District Overlay; amendment to the land use**

## **implementation chart for the residential foothills low and residential single-family districts;**

### Proposed Land Use Districts and Overlays

- Staff updated the table that provides the acreage and percent of the total UGA area to reflect not only the proposed amendments for 2020 but also other map amendments that have been approved since 2017.

### Narrative text section for “College District”

- This text provides context for the policies related to the College District.

### Goal 18. College District

- The proposed goal and associated policies provide guidance on how the zoning code gets administered in regard to the College District.

### Implementation Chart

- A new row is proposed for the College District (CD) which provides guidance on the uses permitted and development standards in the CD.
- Residential Foothills Low has proposed amendments to align with the proposed code amendments
- Residential single family has some amendments to align with the changes made last year with the housing code update.

### Land Use Map

- The land use map has been updated to reflect the proposed amendments which are the same in both the zoning map and the land use map. Description and analysis of the proposed amendments appear at the end of the section devoted to the analysis of Title 10 and the official zoning map which appears above in this document.

### Transportation Element

#### Goal 3 Pedestrian, Bicycles & Transit

- The proposed policies will help guide decision making as it pertains to transportation in the vicinity of the College District.

#### Goal 5 Parking

- The proposed policy will guide action pertaining to parking in the vicinity of the College District.

Staff recommends **Approval** of the proposed amendments to the Wenatchee Urban Area Comprehensive Plan, based upon the suggested findings of fact and conclusions of law enclosed at the conclusion of the staff report.

## **SUGGESTED FINDINGS OF FACT AND CONCLUSIONS OF LAW**

### Suggested Findings of Fact:

#### General (applicable to all proposals in this staff report)

1. The City of Wenatchee has adopted the Wenatchee Urban Area Comprehensive Plan and a series of sub-area comprehensive plans pursuant to the Growth Management Act (GMA), RCW Chapter 36.70A, which cover the Wenatchee Urban Growth Area and all incorporated areas within the City of Wenatchee, that have been found to be consistent with each other and with the adopted GMA plans of the adjoining jurisdictions.
2. The City of Wenatchee Planning Commission is responsible for long range planning matters and providing implementation recommendations to assure compliance with the Growth Management Act for the City of Wenatchee Urban Growth Area in coordination with Chelan County and within the incorporated boundaries of the City of Wenatchee. These measures include updates and amendments to the comprehensive plan; development regulations, environmental regulations, and any other rules, actions or regulations deemed necessary to implement the Growth Management Act.
3. RCW Chapters 36.70 and 36.70A authorize the adoption of development regulations.
4. The Planning Commission conducted workshops on parts of the proposed revisions on June 17, 2020; July 15, 2020; August 19, 2020; September 16, 2020; and October 21, 2020.
5. City staff presented the proposed draft revisions in August 2020 to the City Council.
6. The City of Wenatchee issued a determination of non-significance on September 18, 2020 and provided copies of the environmental documents to the Department of Ecology SEPA Register for the amendments on the same day. Notice was also provided to local and regional agencies for the 60-day review and comment periods/environmental determinations.
7. Notice of the public 60-day review and comment period, environmental determination, and public hearing dates were published in the Wenatchee World on September 19, 2020.
8. On September 18, 2020 the City of Wenatchee and Chelan County provided joint notice to the Washington State Department of Commerce of the intent to adopt amendments to the Wenatchee Urban Area Comprehensive Plan, the Wenatchee City Code, and the Wenatchee Residential Design Guidelines.
9. The amendments, environmental documents, and meeting information have been posted on the City of Wenatchee website during the public comment and environmental review periods.
10. On November 18, 2020, the City of Wenatchee Planning Commission conducted an advertised public hearing. The Planning Commission entered into the record the files on this amendment, accepted public testimony, and deliberated the merits of the proposal.
11. The City of Wenatchee Planning Commission has reviewed the entire record and public testimony as it relates to the proposed amendments to the Wenatchee City Code, Wenatchee Residential Design Guidelines, and the Wenatchee Urban Area Comprehensive Plan.

#### Title 10 (except RF) and Official Zoning Map Findings

1. A public workshop on the College District proposal was held on April 9, 2019 at Wenatchee City Hall.
2. A letter was sent to property owners located in the proposed College District Overlay (CDO) on September 1, 2020 notifying them about the proposed zoning map amendment, providing contact information, and opportunity to comment.
3. The Planning Commission conducted workshops on parts of the proposed revisions on June 17, 2020; July 15, 2020; August 19, 2020; September 16, 2020; and October 21, 2020.
4. The Wenatchee City Council passed Ordinance 2019-35 amending Title 10 of the Wenatchee City Code which was also referred to as the "Housing Code Update".
5. The Washington State Legislature passed, and the governor signed, SHB1377 during the 2019 legislative session. This law was codified at RCW 35A.63.300.
6. Goal 5 Policy 8 in the Land Use Element of the Wenatchee Urban Area Comprehensive Plan is: "Discourage the proliferation of flag lots which consume limited land resources and provide an inefficient land use pattern. Where public health, safety and general welfare can be addressed, accommodate the use of easements or alley access for infill residential development."
7. Goal 12 Policy 6 in the Land Use Element of the Wenatchee Urban Area Comprehensive Plan is: "New non-residential development in existing residential neighborhoods should be designed (landscaping and building design) and operated (traffic, noise, lighting, hours) to be compatible with the existing neighborhood. Compatibility for design can take the form of guidelines which objectively define a range of acceptable neighborhood non-residential building types and architectural details."
8. Goal 16 Policy 2 in the Land Use Element of the Wenatchee Urban Area Comprehensive Plan is: "Coordinate with the Washington State University and Wenatchee Valley Community College and surrounding neighborhoods to consider revised land use designations and standards for higher education facilities, such as a college district. If developed, such a designation should also look at the relationship and opportunities with surrounding land use designations and corridors."
9. Goal 16 Policy 3 in the Land Use Element of the Wenatchee Urban Area Comprehensive Plan is: "If established, a college district designation and standards should support and encourage maintenance and investment in these facilities to meet community and regional educational and training needs while also addressing the needs and concerns of surrounding neighborhoods. This approach should provide for predictable outcomes for both the college facilities and neighborhoods."
10. Goal 17 Policy 2 in the Land Use Element of the Wenatchee Urban Area Comprehensive Plan is: "Ensure that permit standards have clear criteria and performance measures to achieve desired goals. Maintain effective notice and participation procedures for significant projects while seeking opportunities to streamline permit procedures through administrative performance standards and criteria."
11. Goal 1 Policy 1 in the Housing Element of the Wenatchee Urban Area Comprehensive Plan is: "Develop and implement regulations that allow targeted densities to be achieved with reasonable likelihood while mitigating potential negative impacts."

12. Goal 4 Policy 9 of the Housing Element of the Wenatchee Urban Area Comprehensive Plan is: “Single family homes in commercial and mixed use designations continue to serve a role in providing affordable housing units in the city. Evaluate non-conforming standards and determine if changes should be incorporated which accommodate minor additions and renovation of structures as an existing permitted use, prior to the site or structure converting to intended uses of the specific land use designation”
13. Goal 3 Policy 2 in the Community Design and Healthy Communities Element of the Wenatchee Urban Area Comprehensive Plan is: “Review design standards for multi-unit housing to achieve compatibility with the surrounding neighborhood, attractive architectural characteristics of single-family housing/or desired design components of historically relevant and desirable multi-unit housing present in the community, and appropriate screening/placement of surface parking and waste collection areas. Compatibility should be treated in a similar approach as described under Goal 1, policy 3.”

#### WRDG Findings

1. The Planning Commission conducted a workshop on the proposed revisions on September 16, 2020.
2. The Wenatchee City Council passed Resolution 2019-43 adopting the Wenatchee Residential Design Guidelines which was part of the process referred to as the “Housing Code Update”.
3. Goal 1 Policy 1 in the Housing Element of the Wenatchee Urban Area Comprehensive Plan is: “Develop and implement regulations that allow targeted densities to be achieved with reasonable likelihood while mitigating potential negative impacts.”
4. Goal 3 Policy 2 in the Community Design and Healthy Communities Element of the Wenatchee Urban Area Comprehensive Plan is: “Review design standards for multi-unit housing to achieve compatibility with the surrounding neighborhood, attractive architectural characteristics of single-family housing/or desired design components of historically relevant and desirable multi-unit housing present in the community, and appropriate screening/placement of surface parking and waste collection areas. Compatibility should be treated in a similar approach as described under Goal 1, policy 3.”
5. Goal 17 Policy 2 in the Land Use Element of the Wenatchee Urban Area Comprehensive Plan is: “Ensure that permit standards have clear criteria and performance measures to achieve desired goals. Maintain effective notice and participation procedures for significant projects while seeking opportunities to streamline permit procedures through administrative performance standards and criteria.”

#### RF Findings:

1. In 2019, the Planning Commission reviewed proposed revisions to the Comprehensive Plan land use map and Zoning Map for the western foothills to expand the Residential Foothills Low designation.



2. After reviewing the matter, receiving multiple public comments for and against the proposal, the planning commission held a public hearing and voted to not recommend approval of the map change to the City Council rather recommended that the matter be retained by the Planning Commission for further study and review.
3. The City Council in a December 2019 public hearing, rejected the planning commission recommendation and approved the map revisions, by ordinance 2019-49 with the caveat that the Planning Commission review the matter and staff return and report progress in August 2020.
4. Ordinance 2019-49, was timely appealed to the Washington State Growth Management Hearings Board (GMHB).
5. The City and the appellant held a pre-trial briefing with the GMHB panel at which they highly recommended the two parties enter into settlement discussions. During this discussion, the two parties came to an agreement that city staff would present a series of revisions to the zoning district to the planning commission and the appellant would withdraw the appeal.
6. City staff presented the proposed draft revisions in June and July 2020 to the planning commission and in August 2020 to the City Council.
7. Revisions to the Residential Foothills Low are consistent with Goal 13, Policy 1 of the comprehensive plan to ensure that new residential development at the edge of the urban growth area should not impact the open qualities of the hillsides or disrupt the small-scale qualities of existing neighborhoods by allowing a variety of housing types and single-family clustering.

#### Title 11 Findings

1. The Wenatchee City Council passed Ordinance 2019-36 which added subsection WCC11.20.020(9) but the citation of a range of subsections located at 11.20.050(1) was not subsequently updated and therefore the citation became unaligned with its intended subsections.
2. The Planning Commission conducted workshops on the proposed revisions on August 19, 2020 and September 16, 2020.
3. Goal 5 Policy 8 in the Land Use Element of the Wenatchee Urban Area Comprehensive Plan is: "Discourage the proliferation of flag lots which consume limited land resources and provide an inefficient land use pattern. Where public health, safety and general welfare can be addressed, accommodate the use of easements or alley access for infill residential development."

#### Title 13 Findings

1. Section 13.09.030 WCC was last updated in 2011 but numerous changes have since been made to what actions are reviewed under Title 13.
2. The Planning Commission conducted workshops on parts of the proposed revisions on September 16, 2020.
3. Goal 17 Policy 2 in the Land Use Element of the Wenatchee Urban Area Comprehensive Plan is: "Ensure that permit standards have clear criteria and performance measures to achieve desired goals. Maintain effective notice and participation procedures for significant projects while seeking opportunities to

streamline permit procedures through administrative performance standards and criteria.”

### Comprehensive Plan Findings

1. The Planning Commission conducted a workshop on the proposed revisions on October 21, 2020.
2. Goal 16 Policy 2 in the Land Use Element of the Wenatchee Urban Area Comprehensive Plan is: “Coordinate with the Washington State University and Wenatchee Valley Community College and surrounding neighborhoods to consider revised land use designations and standards for higher education facilities, such as a college district. If developed, such a designation should also look at the relationship and opportunities with surrounding land use designations and corridors.”
3. Goal 16 Policy 3 in the Land Use Element of the Wenatchee Urban Area Comprehensive Plan is: “If established, a college district designation and standards should support and encourage maintenance and investment in these facilities to meet community and regional educational and training needs while also addressing the needs and concerns of surrounding neighborhoods. This approach should provide for predictable outcomes for both the college facilities and neighborhoods.”

### Suggested Conclusions of Law:

1. The procedural and substantive requirements of the State Environmental Policy Act have been complied with.
2. The procedural requirements of RCW 36.70A have been complied with.
3. The proposed amendments are consistent with the Chelan County Countywide Planning Policies and the City of Wenatchee Urban Area Comprehensive Plan.
4. The proposed amendments are consistent with the requirements of Revised Code of Washington, and the Washington Administrative Code.
5. The proposed amendments have been reviewed and processed in accordance with the requirements of Title 10 Zoning, Title 12 Environmental Protection, and Title 13 Administration of Development Regulations of the City of Wenatchee Code.

### Attachments

Exhibit A: Proposed Amendments to Title 10 of the Wenatchee City Code and the Official Zoning Map,

Exhibit B: Proposed Amendments to Title 11 of the Wenatchee City Code

Exhibit C: Proposed Amendments to Title 13 of the Wenatchee City Code

Exhibit D: Proposed Amendments to the Wenatchee Residential Design Guidelines;

Exhibit E: Proposed Amendments to the Wenatchee Urban Area Comprehensive Plan

Exhibit F: Public Comments received

## Exhibit A:

Proposed amendments to Wenatchee City Code Titles 10 and the Official Zoning Map for the public hearing with Planning Commission on November 18, 2020.

### Wenatchee City Code

#### Title 10 ZONING

#### Chapter 10.06 USE DISTRICTS

#### **10.06.015 Use districts designated.**

To further the identified purposes of this title, the following zoning district categories and zoning map symbols are established:

(1) The incorporated territory of the city of Wenatchee is hereby divided into the following zoning districts:

(m) CD – College District

(2) The incorporated territory of the city of Wenatchee includes the following overlay districts:

(i) CDO – College District Overlay

#### 10.08 Definitions

#### **10.08.040 “A.”**

“Accessory structure” means a detached nonhabitable structure included as part of the development with, and of a nature customarily incidental and subordinate to, the primary or principal structure, and located on the same lot ~~or an adjoining~~ lot.

#### **10.08.095 “L.”**

“Lot, corner” means a lot ~~located at the intersection of two or more public or private streets~~ with two or more street frontages that are roughly perpendicular to each other.

#### **10.08.125 “R.”**

## Exhibit A:

Proposed amendments to Wenatchee City Code Titles 10 and the Official Zoning Map for the public hearing with Planning Commission on November 18, 2020.

“Residential shared general storage” means an area shared by two or more dwelling units for the storage of personal property and recreational vehicles. Residential shared general storage areas are subject to WCC10.48.320.

### 10.08.135 “T.”

“Townhouse” means a row of at least three attached ~~housing units, constructed to a townhouse~~single-family dwelling units standard per International Residential Code (IRC) R302 as amended. in which eEach unit has its own front access to the outside, no unit is located over another unit, and each unit is separated from any other unit by one or more common walls. ~~Townhouses are also referred to as “zero lot line residences.”~~Townhouse design standards are set forth in WCC 10.47.130.

## Exhibit A:

Proposed amendments to Wenatchee City Code Titles 10 and the Official Zoning Map for the public hearing with Planning Commission on November 18, 2020.

### 10.10 District Use Chart

#### 10.10.020 District use chart.

The use chart located on the following pages is made a part of this section. The following acronyms have the following meanings, as used in the use chart that is part of this section:

P =	Permitted use
P <sub>1</sub> =	Permitted use, not to occupy grade level commercial street frontage
AU =	Accessory use
C =	Conditional use
~ =	Prohibited use
M =	Permitted use in a corridor mixed use (CMU) project located within the MRC
C/M =	Permitted conditional use in a corridor mixed use (CMU) project located within the MRC

#### Districts

RS =	Residential Single-Family District
RL =	Residential Low District
RM =	Residential Moderate District
RH =	Residential High District
RF =	Residential Foothills Low District
CBD =	Central Business District
NWBD =	North Wenatchee Business District
SWBD =	South Wenatchee Business District
<u>CD =</u>	<u>College District</u>
CN =	

## Exhibit A:

Proposed amendments to Wenatchee City Code Titles 10 and the Official Zoning Map for the public hearing with Planning Commission on November 18, 2020.

### Districts

	Neighborhood Commercial District
OMU =	Office Mixed Use District
RMU =	Residential Mixed Use District
WMU =	Waterfront Mixed Use District
I =	Industrial District

### Overlays

MRC =	Mixed Residential Corridor
CSO =	Columbia Street Overlay
HEO =	Historic/Entertainment Overlay
PO =	Waterfront Pedestrian Overlay
RRO =	Waterfront Recreational/Residential Overlay
IO =	Waterfront Industrial Overlay
GHD =	Grandview Historic District (not included in district use chart)
CNO =	Neighborhood Commercial Overlay (not included in district use chart)
<u>CDO =</u>	<u>College District Overlay</u>



## Exhibit A:

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November 18, 2020.  
District Use Chart

P = Permitted use P <sub>1+</sub> = Permitted, not to occupy grade level commercial street frontage AU = Accessory use C = Conditional use C <sub>1+</sub> = <u>Permitted Conditional use</u> , not to occupy grade level commercial street frontage ~ = Prohibited use M = Permitted use in a corridor mixed use project within the MRC overlay																					
Uses	Commercial Districts						Mixed Use Districts			Residential Districts					Overlay Zones						
	CBD	NWBD	SWBD	CN	<u>CD</u>	I	WMU	OMU	RMU	RF	RS	RL	RM	RH	HEO	CSO	MRC	IO	PO	RRO	
Commercial, Retail																					
Adult entertainment businesses	~	P	P	~	~	P	~	~	~	~	~	~	~	~	~	~	~	~	~	~	
Adult oriented retail	~	P	P	~	~	P	~	~	~	~	~	~	~	~	~	~	~	~	~	~	
Auto rental agencies	P	P	P	~	~	P	~	~	~	~	~	~	~	~	~	~	~	~	~	~	
Banks without drive-through	P	P	P	P	~	~	P	P	C	~	~	~	~	~	P	P	M	~	P	~	
Banks with drive-through	P	P	P	P	~	~	P	P	~	~	~	~	~	~	P	P	~	~	~	~	
Boat sales and rentals	~	P	P	~	~	P	P	~	~	~	~	~	~	~	~	~	~	~	P	P <sub>1+</sub>	
Building materials, garden and farm supplies	P	P <sub>7</sub>	P <sub>7</sub>	P	~	P	~	~	~	~	~	~	~	~	~	P	~	P	~	~	
Equipment rental services, commercial	~	C <sub>7</sub>	C <sub>7</sub>	~	~	P	~	C	~	~	~	~	~	~	~	P	~	P	~	~	
Exercise facilities	P	P	P	P	p <sub>13</sub>	P	P	P	P	~	~	~	~	~	P	P	P	P	P	P	
Farmers market	P	P	P	P	p <sub>13</sub>	~	P	P	P	~	~	~	~	~	P	P	P	~	P	P	
Furniture, home furnishings, and appliances	P	P	P	P	~	P	P	~	~	~	~	~	~	~	P	P	~	P	P	P <sub>1+</sub>	
General retail	P	P	P	P	p <sub>13</sub>	~	P	~	~	~	~	~	~	~	P	P	~	~	P	P <sub>1+</sub>	
Liquor stores	P	P	P	~	~	~	P	~	~	~	~	~	~	~	P	P	~	~	P	~	
Marijuana retailer	~	P	P	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~	
Mobile, manufactured, and modular housing sales	~	~	~	~	~	P	~	~	~	~	~	~	~	~	~	~	~	~	~	~	

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Uses	Commercial Districts						Mixed Use Districts			Residential Districts					Overlay Zones					
	CBD	NWBD	SWBD	CN	CD	I	WMU	OMU	RMU	RF	RS	RL	RM	RH	HEO	CSO	MRC	IO	PO	RRO
Motor vehicle sales	P	P	P	~	~	P	~	~	~	~	~	~	~	~	~	AU	~	~	~	~
Motor vehicle supply stores	P	P	P	~	~	P	~	~	~	~	~	~	~	~	~	P	~	~	~	~
Neighborhood grocery	P	P	P	P	P <sub>13</sub>	P	P	~	P	~	~	~	~	~	P	P	M	~	P	P <sub>1+</sub>
Office supplies and equipment	P	P	P	P	~	P	P	P	~	~	~	~	~	~	P	P	~	~	P	~
Outdoor mobile vendors	AU	AU	AU	AU	AU <sup>13</sup>	AU	AU	~	~	~	~	~	~	~	AU	AU	~	~	AU	AU
Printing, commercial	P	P	P	~	~	~	P	P	~	~	~	~	~	~	P	P	~	~	P <sub>1</sub>	~
Service stations (car wash, fuel, lube)	C	P	P	P	~	P	C	~	~	~	~	~	~	~	~	~	~	~	~	~
Supermarket	P	P	P	~	~	~	P	~	~	~	~	~	~	~	~	~	~	~	P	~
<b>Commercial, Service</b>																				
Delivery services, local	P	P	P	~	~	P	C	P	~	~	~	~	~	~	~	P	~	P	~	~
Drinking establishments	P	P	P	~	~	~	P	~	~	~	~	~	~	~	P	P	~	~	P	P <sub>1+</sub>
Hotels/motels	P	P	P	~	~	~	P	~	~	~	~	~	~	~	P	P	~	~	P	P
Kennels	~	C	C	~	~	P	~	C	~	~	~	~	~	~	~	~	~	~	~	~
Laundromats	P	P	P	P	~	~	P	P	C	~	~	~	~	~	P	P	M	~	~	P <sub>1+</sub>
Lodging	P	P	P	P	~	~	P	~	~	~	~	~	~	~	P	P	~	~	P	P
Micro brewery, distillery, or winery	P	P	P	~	~	P	P	P	~	~	~	~	~	~	P	P	~	P	P	P
Public utilities and services	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C
Radio/TV studios	P	P	P	~	P <sub>13</sub>	P	P	P	~	~	~	~	~	~	P	P	~	~	P <sub>1+</sub>	~

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Uses	Commercial Districts						Mixed Use Districts			Residential Districts					Overlay Zones					
	CBD	NWBD	SWBD	CN	CD	I	WMU	OMU	RMU	RF	RS	RL	RM	RH	HEO	CSO	MRC	IO	PO	RRO
Restaurants, with drive-in or drive-through	P	P	P	P	~	~	C	~	~	~	~	~	~	~	P <sub>9</sub>	~	~	~	~	~
Restaurants, without drive-in or drive-through	P	P	P	P	P <sub>13</sub>	~	P	P	C	~	~	~	~	~	P	P	M	~	P	P <sub>1+</sub>
Service and repair, motorized	~	P	P	~	~	P	~	P	~	~	~	~	~	~	~	P	~	P	~	~
Service and repair, nonmotorized	P	P	P	P	~	P	P	P	C	~	~	~	~	~	P	P	~	P	P <sub>1</sub>	P <sub>1+</sub>
<b>Industrial</b>																				
Artisan industrial/manufacturing	P	P	P	P	~	P	P	P	~	~	~	~	~	~	P	P	~	P	~	~
Boating storage facilities	~	P	P	~	~	P	C	P	~	~	~	~	~	~	~	P	~	~	~	~
Cryptocurrency mining	P <sub>1</sub>	P <sub>1</sub>	P <sub>1</sub>	~	~	P	~	~	~	~	~	~	~	~	P <sub>1</sub>	P <sub>1</sub>	~	~	~	~
Data center	P <sub>1</sub>	P <sub>1</sub>	P <sub>1</sub>	~	~	P	P <sub>1</sub>	P <sub>1</sub>	~	~	~	~	~	~	P <sub>1</sub>	P <sub>1</sub>	~	P	~	~
Industry, heavy	~	~	~	~	~	P	~	~	~	~	~	~	~	~	~	~	~	P	~	~
Industry, light	C	C	C	~	~	P	C	C	~	~	~	~	~	~	C	P	~	P	~	~
Junkyard/wrecking yard	~	~	~	~	~	P	~	~	~	~	~	~	~	~	~	~	~	~	~	~
Maintenance and service facilities for motor vehicle passenger transportation	C	C	C	~	~	P	C	C	~	~	~	~	~	~	~	P	~	P	~	~
Marijuana processor	~	~	~	~	~	P	~	~	~	~	~	~	~	~	~	~	~	~	~	~
Mini-storage	P <sub>1+</sub>	P <sub>8</sub>	P <sub>8</sub>	P <sub>1+</sub>	~	P	AU	P	~	~	~	~	~	~	~	P	~	~	~	~
Off-site treatment and storage facilities for hazardous waste	~	~	~	~	~	P	~	~	~	~	~	~	~	~	~	~	~	P	~	~

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Uses	Commercial Districts						Mixed Use Districts			Residential Districts					Overlay Zones					
	CBD	NWBD	SWBD	CN	CD	I	WMU	OMU	RMU	RF	RS	RL	RM	RH	HEO	CSO	MRC	IO	PO	RRO
On-site treatment and storage facilities for hazardous waste	AU	AU	AU	AU	~	P	AU	AU	AU	~	~	~	~	~	AU	AU	~	P	AU	AU
Printing, industrial	~	~	~	~	~	P	~	C	~	~	~	~	~	~	~	P	~	~	~	~
Recycling facilities	AU	AU	AU	AU	~	P	AU	AU	AU	~	~	~	~	~	AU	AU	~	~	AU	AU
Solid waste transfer station	~	~	~	~	~	P	~	~	~	~	~	~	~	~	~	~	~	~	~	~
Warehousing and storage	AU	AU	AU	~	~	P	~	C	~	~	~	~	~	~	~	P	~	P	~	~
Welding and fabrication	~	C	C	~	~	P	~	C	~	~	~	~	~	~	~	P	~	P	~	~
Wholesale products incidental to retail business	P	P	P	~	~	P	P	~	~	~	~	~	~	~	P	P	~	P	P <sub>1+</sub>	~
Wholesale sales	~	~	~	~	~	P	~	C	~	~	~	~	~	~	~	P	~	P	~	~
<b>Medical</b>																				
Clinic	P	P	P	P	P <sub>1+</sub>	~	P	C	C	~	~	~	~	~	P	P	C	~	P <sub>1+</sub>	~
Hospital planned development	~	P	P	~	~	~	~	P	P	~	P	P	P	P	~	~	P	~	~	~
Medical office	P	P	P	P	~	~	P	P	P	~	~	~	~	~	P	P	M	~	P <sub>1+</sub>	~
Supervised living facilities	~	~	~	~	~	~	C	C	C	~	C	C	C	C	~	~	C	~	C <sub>1+</sub>	C
Veterinary offices/clinics	P	P	P	P	~	~	P	C	C	~	~	~	~	~	~	P	~	~	P <sub>1+</sub>	~
<b>Office</b>																				
Business offices	P	P	P	P	P <sub>1+</sub>	AU	P	P	P	~	~	~	~	~	P	P	M	~	P	P <sub>1+</sub>
Personal services	P	P	P	P	P <sub>1+</sub>	~	P	P	P	~	~	~	~	~	P	P	M	~	P	P
<b>Public Assembly</b>																				
Auditoriums	C	C	C	C	~	C	C	C	C	~	C	C	C	C	C	C	C/M	~	C	C
Cemeteries	~	~	~	~	~	~	~	~	~	C	C	C	C	C	~	~	~	~	~	~

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Uses	Commercial Districts						Mixed Use Districts			Residential Districts					Overlay Zones					
	CBD	NWBD	SWBD	CN	CD	I	WMU	OMU	RMU	RF	RS	RL	RM	RH	HEO	CSO	MRC	IO	PO	RRO
Child day care centers	C	C	C	C	P <sub>1±</sub>	AU	C	C	C	~	C	C	C	C	C	C	C	AU	C <sub>1±</sub>	C <sub>1±</sub>
Convention Center	C	C	C	~	~	~	C	~	~	~	~	~	~	~	C	C	~	~	~	~
Funeral parlors and mortuaries	C	C	C	~	~	C	~	C	C	~	~	~	~	~	C	~	~	~	~	~
Humanitarian service and shelter facilities	C	C	C	C	~	C	C	C	C	~	~	~	~	C	C	C	C	~	C <sub>1±</sub>	C
Institution of higher education	C	C	C	~	P	C	~	C	C	~	C	C	C	C	C <sub>1</sub>	C	C	~	~	~
Libraries	C	C	C	C	P <sub>1±</sub>	~	C	C	C	~	C	C	C	C	C	C	C	~	C	C
Museums	C	C	C	C	P	~	C	C	C	~	C	C	C	C	C	C	C	~	C	C
Neighborhood center	C	C	C	C	~	~	C	C	C	~	~	C	C	C	C	C	C	~	C	C
Night club	C	C	C	~	~	~	C	~	~	~	~	~	~	~	C	C	~	~	C	C <sub>1±</sub>
Places of worship	C	C	C	C	C <sub>1±</sub>	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C
Schools	~	~	~	~	P <sub>1±</sub>	~	C	C	C	~	C	C	C	C	~	~	C	~	C	C
Sports and entertainment venue	C	C	C	~	~	~	C	~	~	~	~	~	~	~	C	C	~	~	~	~
Theaters (drive-in)	~	C	C	~	~	C	~	~	~	~	~	~	~	~	~	~	~	~	~	~
Theaters (no drive-ins)	C	C	C	C	~	~	C	~	~	~	~	~	~	~	C	C	~	~	C	C
Transportation center	C	C	C	~	~	~	C	C	~	~	~	~	~	~	~	C	~	~	~	~
<b>Recreation</b>																				
Boat clubs	P	P	P	~	~	P	P	~	~	~	~	~	~	~	~	~	~	~	P	P
Managed open space	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	~	P	P
Marinas/boat launching facilities	~	~	~	~	~	P	P	~	~	~	~	~	~	~	~	~	~	~	P	P
Recreation, indoor commercial	P	P	P	P	P <sub>1±</sub>	~	P	~	C	~	~	~	~	~	P	P	~	~	P	P

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Uses	Commercial Districts						Mixed Use Districts			Residential Districts					Overlay Zones					
	CBD	NWBD	SWBD	CN	CD	I	WMU	OMU	RMU	RF	RS	RL	RM	RH	HEO	CSO	MRC	IO	PO	RRO
Recreation, outdoor commercial	~	C	C	~	P <sub>1+</sub>	P	C	~	~	~	~	~	~	~	~	~	~	~	~	C
Recreation, neighborhood	~	~	~	P	~	~	~	C	C	C	C	C	C	C	~	~	M	~	~	~
Recreational vehicle parks	~	~	~	~	~	~	C	~	~	~	~	~	~	~	~	~	~	~	C	C
<b>Residential</b>																				
Single-family dwelling (WCC 10.47.050)	P <sub>10</sub>	P <sub>10</sub>	P <sub>10</sub>	P <sub>10</sub>	~	~	~	P	P	P	P	P	P	P	~	~	P	~	~	~
Single-family cluster (WCC 10.47.060)	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~
Single-family courtyard (WCC 10.47.070)	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~
Cottage housing (WCC 10.47.080 – 10.47.090)	~	~	~	~	~	~	~	P	P	~	~	~	~	~	~	~	P	~	~	~
Duplex (WCC 10.47.100)	~	P <sub>10</sub>	P <sub>10</sub>	P <sub>10</sub>	~	~	~	P	P	~	~	~	~	~	~	~	P	~	~	~
Patio homes (WCC 10.47.110)	~	~	~	~	~	~	~	~	P	~	~	~	~	~	~	~	P	~	~	~
Courtyard housing (WCC 10.47.120)	~	~	P	~	~	~	~	P	P	~	~	~	~	~	~	~	P	~	P	P
Townhouses (WCC 10.47.130)	~	~	P	P <sub>12</sub>	~	~	~	P	P	~	~	~	~	~	~	~	P	~	P	P
Live-work dwellings (WCC 10.47.140)	~	P	P	P	~	~	P	P	P	~	~	~	~	~	P	P	P	~	~	~
Multifamily dwellings (WCC 10.47.150)	P <sub>11</sub>	P	P	P <sub>12</sub>	~	~	P	P	P	~	~	~	P	P	P <sub>11</sub>	P <sub>11</sub>	P	~	P	P



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Uses	Commercial Districts						Mixed Use Districts			Residential Districts					Overlay Zones					
	CBD	NWBD	SWBD	CN	CD	I	WMU	OMU	RMU	RF	RS	RL	RM	RH	HEO	CSO	MRC	IO	PO	RRO
Mixed use building or development (WCC 10.47.160)	P	P	P	P	~	~	P	P	P	~	~	~	~	~	P	P	P	~	P	P
Accessory <del>building structure</del> , residential (WCC 10.48.030)	~	~	~	~	~	~	P	P	P	P	P	P	P	P	~	~	P	~	P	P
Accessory dwelling unit (ADU) (WCC 10.47.040)	~ <sup>p14</sup>	~ <sup>p14</sup>	~ <sup>p14</sup>	~ <sup>p14</sup>	~	~	~	P	P	P	P	P	P	P	~	~	P	~	~	~
Adult family home	AU	AU	AU	AU	~	~	AU	P	P	P	P	P	P	P	~	~	P	~	~	~
Bed and breakfast (WCC 10.48.050)	P	~	~	~	~	~	P	P	P	C	P	P	P	P	P	~	P	~	P	P
Transient rental <sup>5</sup>	P	~	~	~	~	~	P	P	P	~	~	~	~	~	P	~	P	~	P	P
Family day care (12 or fewer children) (WCC 10.48.080)	AU	AU	~	AU	~	~	AU	P	P	P	P	P	P	P	~	~	P	~	~	P
Farm animals, large and small (WCC 10.48.060)	~	~	~	~	~	~	~	P	P	~	P	P	P	P	~	~	P	~	~	~
Group home (six or less)	~	~	~	~	~	~	~	P	P	C	P	P	P	P	~	~	P	~	~	P
Group home (seven or more)	P <sub>1+</sub>	P <sub>1+</sub>	P <sub>1+</sub>	P <sub>1+</sub>	~	~	C	C	C	C	C	C	C	P	P <sub>1+</sub>	P <sub>1+</sub>	C	C	C	C
Home occupation (WCC 10.48.100)	~	~	~	~	~	~	~	P	P	~ <sup>CP</sup>	~ <sup>CP</sup>	~ <sup>CP</sup>	P	P	~	~	P	~	~	P
Home occupation, mailing address only (WCC 10.48.090)	~	~	~	~	~	~	~	P	P	P	P	P	P	P	~	~	P	~	~	P
Manufactured home <sup>1</sup> (WCC 10.48.150)	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~

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Uses	Commercial Districts						Mixed Use Districts			Residential Districts					Overlay Zones					
	CBD	NWBD	SWBD	CN	CD	I	WMU	OMU	RMU	RF	RS	RL	RM	RH	HEO	CSO	MRC	IO	PO	RRO
Manufactured home, designated (WCC 10.47.020)	~	~	~	~	~	~	~	P	P	P	P	P	P	P	~	~	P	~	~	~
Manufactured/mobile home park (as a residential planned development) (Chapter 10.42 WCC)	~	~	~	~	~	~	P <sub>10</sub>	P <sub>10</sub>	P <sub>10</sub>	~	P <sub>10</sub>	P <sub>10</sub>	P <sub>10</sub>	P <sub>10</sub>	~	~	P <sub>10</sub>	~	~	~
Manufactured home community (WCC 10.47.180)	~	~	~	~	~	~	~	~	~	~	P	P	P	~	~	~	~	~	~	~
Mobile home <sup>2</sup> (WCC 10.48.150)	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~
Modular home (WCC 10.48.150)	~	~	~	~	~	~	~	P	P	P	P	P	P	P	~	~	P	~	~	~
Residential planned developments (Chapter 10.42 WCC)	Residential planned developments are permitted only when approved prior to November 7, 2019.																			
Student housing	~	~	~	~	P	~	~	P	~	~	~	~	C	P	~	~	P	~	~	~
<b>Other Uses</b>																				
Accessory building, agricultural	~	~	~	~	~	~	~	P	~	P	P	P	P	P	~	~	P	~	~	~
Agriculture	~	~	~	~	~	~	~	P	~	P	P	P	P	P	~	~	P	~	~	~
Agriculturally related industry	~	~	~	~	~	~	~	C	~	C	C	C	C	C	~	~	C	~	~	~
Balcony	AU	AU	AU	AU	AU	AU	AU	AU	AU	AU	AU	AU	AU	AU	AU	AU	AU	AU	AU	AU
Battery exchange station	P	P	P	P	~	P	P	~	~	~	~	~	~	~	P	P	~	P	P	P
Bus amenities	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P

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Uses	Commercial Districts						Mixed Use Districts			Residential Districts					Overlay Zones					
	CBD	NWBD	SWBD	CN	CD	I	WMU	OMU	RMU	RF	RS	RL	RM	RH	HEO	CSO	MRC	IO	PO	RRO
Deck	AU	AU	AU	AU	AU	AU	AU	AU	AU	AU	AU	AU	AU	AU	AU	AU	AU	AU	AU	AU
Electric vehicle charging station, Levels 1 and 2	P	P	P	P	AU	P	P	P	P	AU	AU	AU	AU	AU	P	P	AU	P	P	P
Electric vehicle charging station, Level 3	P	P	P	P	AU	P	P	P	AU	~	~	~	~	~	P	P	~	P	P	P
Essential public facilities	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C
Garage, private attached or detached	~	~	~	~	~	~	AU	AU	AU	AU	AU	AU	AU	AU	~	~	AU	~	AU	AU
Corridor mixed use	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~	P	~	~	~
Fence	AU	AU	AU	AU	AU	AU	AU	AU	AU	AU	AU	AU	AU	AU	AU	AU	AU	AU	AU	AU
Marijuana producer <sup>4</sup>	~	~	~	~	~	P	~	~	~	~	~	~	~	~	~	~	~	~	~	~
Medical marijuana cooperative (RCW 69.51A.520)	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~
Parking facility	P	P	P	C	P <sup>13</sup>	P	C	C	C	~	~	~	~	C	P	P	~	P	C <sub>1</sub>	C <sub>1</sub>
Parking facility, temporary	~	C	C	C	C <sup>13</sup>	P	C	C	C	C	C	C	C	C	~	C	C	P	C	C
Satellite dishes, commercial	P <sub>1+</sub>	P <sub>1+</sub>	P <sub>1+</sub>	~	~	P	C	C	C	C	C	C	C	C	P <sub>1+</sub>	P	~	P	C <sub>1+</sub>	C <sub>1+</sub>
Sign with "effects"	AU	AU	AU	~	~	AU	C	~	~	~	~	~	~	~	~	~	~	~	~	~
On-site sign	AU	AU	AU	AU	AU	AU	AU	AU	AU	AU	AU	AU	AU	AU	AU	AU	AU	AU	AU	AU
Off-site sign	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~	~
<u>Residential Shared General Storage</u>	~	~	~	~	~	~	~	~	AU	AU	AU	AU	AU	AU	~	~	AU	~	~	~
Storage container <sup>3</sup>	~	AU	AU	~	~	P	~	~	~	~	~	~	~	~	~	~	~	~	~	~
Swimming pool	AU	AU	AU	AU	AU	AU	AU	AU	AU	AU	AU	AU	AU	AU	AU	AU	AU	~	AU	AU

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	Commercial Districts					Mixed Use Districts				Residential Districts					Overlay Zones					
	CBD	NWBD	SWBD	CN	<u>CD</u>	I	WMU	OMU	RMU	RF	RS	RL	RM	RH	HEO	CSO	MRC	IO	PO	RRO
Wireless communication antenna	AU	AU	AU	AU	<u>AU</u>	AU	AU	AU	AU	AU	AU	AU	AU	AU	AU	AU	AU	AU	AU	AU
Wireless communication tower	~	C	C	~	<u>~</u>	C	~	C	~	~	~	~	~	~	~	~	~	C	~	~
Small cell wireless facility	P	P	P	P	<u>P</u>	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P
Yard sale	~	~	~	~	<u>~</u>	~	~	~	~	P	P	P	P	P	~	~	~	~	~	~

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<sup>13</sup>Only permitted when located on land and within a structure or facility owned by an institution of higher education.

<sup>14</sup> Only permitted as an accessory use to a single-family dwelling in existence as of November 7, 2019.

### 10.11 Residential Foothills Low (RF) District

Sections:

10.11.005 Purpose.

10.11.010 Land uses.

10.11.050 Development standards.

10.11.005 Purpose.

The RF land use classification is for areas that are situated along the base of the Wenatchee Foothills. These areas may be suited to a single-family living environment devoted to single-family attached or detached homes and accessory uses and, under very limited conditions, necessary supporting facilities and utilities which are required to service residential uses in residential areas. The intent of the RF is to assist property owners with the ability to develop their land while protecting the views and impacts to down-slope neighbors and protecting the general views of the foothills for the citizens and visitors to the city of Wenatchee. (Ord. 2010-25 § 2)

10.11.010 Land uses.

All permitted, accessory, conditional and prohibited uses within this district shall be as shown in Chapter 10.10 WCC, District Use Chart, provided all applicable provisions of the WCC are met. (Ord. 2010-25 § 2)

10.11.050 Development standards.

Development in this district shall meet all applicable provisions of this title and all other rules, regulations and provisions of the WCC, including the provisions below. Also, all housing types except some single-family residential uses are subject to conformance with applicable sections of the Residential Design Guidelines.

(1) Development standards applicable in the RF zoning district are detailed in WCC 10.46.020.

(2) Uses permitted in the RF zoning district shall meet applicable regulations as detailed in Chapters 10.47 and 10.48 WCC.

(3) Off-street parking shall be provided pursuant to Chapter 10.60 WCC.

~~-(4) All property within an identified geohazard area shall require a geotechnical report.~~

## Exhibit A:

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~~(5) Driveways shall be improved with a durable dustless surface of asphalt, concrete, or equivalent and shall not exceed 12 percent slope.~~

~~(6) All storm water shall be retained on site unless a public storm water collection system is available for discharge.~~

~~(7) Turnarounds shall be required in accordance with the locally adopted fire code.~~

(48) Development shall preserve natural drainage ways.

~~(9) The following standards shall apply to any property adjacent to undeveloped land:~~

~~(a) All roofs shall use Class A roofing material as defined in the locally adopted International Building Code. Existing roofs shall meet Class A standards when 50 percent or more is to be repaired/replaced.~~

~~(b) Attic ventilation openings, foundation or underfloor vents, or other ventilation openings in vertical exterior walls and vents shall be covered with noncombustible corrosion-resistant mesh with openings not to exceed one-fourth inch, or shall be designed and approved to prevent flame or ember penetration into the structure.~~

~~(c) Structures should have all underfloor areas enclosed to the ground with exterior walls; if any floor area is unenclosed, the underfloor/underside shall consist of a one-hour fire-resistant construction rating.~~

~~(d) Siding shall consist of ignition-resistant construction materials. Siding on existing structures must be replaced with ignition-resistant materials when 50 percent or more is to be repaired/replaced.~~

~~(e) Defensible space with a minimum distance of 30 feet shall be maintained around any structure. Defensible space consists of an area, either natural or manmade, where material capable of allowing a fire to spread unchecked has been treated, cleared or modified to slow the rate and intensity of an advancing wildfire and to create an area for fire suppression operations to occur. (Ord. 2019-35 § 9; Ord. 2010-25 § 2)~~

### 10.12 Residential Single-Family (RS) District

#### 10.12.005 Purpose.

The RS land use classification is for areas suited to residential activities including a single-family living environment very low density residential development devoted to single-family detached homes and accessory uses, and under certain conditions, necessary supporting facilities and utilities which are required to service residential uses in residential areas. Uses are limited to residential occupancies and public service uses, which by their necessity or convenience to the residential sector require an RS location.

### 10.14 Residential Low (RL) District

#### 10.14.005 Purpose.



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The RL land use classification is intended primarily for ~~residential activities including single-family dwellings and other residential units under certain conditions.~~ compatible blended low-density housing and accessory uses. Uses are limited to residential occupancies and public service uses, which by their necessity or convenience to the residential sector require an RL location.

### 10.16 Residential Moderate (RM) District

#### 10.16.005 Purpose.

The residential moderate (RM) land use classification is a district suited to residential activities, ~~which are or will become single- and two-unit living areas~~ including the entire range of housing choices and accessory uses in a moderate-density configuration. Uses are limited to residential occupancies, public and residential services that support neighborhood activities, which by their necessity or convenience to the residential sector require an RM location.

### 10.18 Residential High (RH) District

#### 10.18.005 Purpose.

The residential high land use classification is a district suited to residential activities ~~from single-family to multifamily configurations~~ including the entire range of housing choices and accessory uses in a high-density configuration. ~~Allowable uses are limited to residential activities and other uses that can be integrated into this designation without being unduly detrimental to its residential character.~~ Uses are limited to residential occupancies, public and residential services that support neighborhood activities, which by their necessity or convenience to the residential sector require an RM location.

## Chapter 10.24 Central Business District (CBD)

#### 10.24.050 Development standards.

Development in this district shall meet all of the applicable provisions of this title and all other rules, regulations and provisions of the WCC, and shall comply with the provisions below. Also, most residential developments, including mixed use development that features at least one dwelling unit, are subject to conformance with applicable sections of the Residential Design Guidelines.

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~~(3) Housing Incentive. Any development that provides at least four dwelling units for families at or below 80 percent of the median income for Chelan County can add one story to the project. Dwelling units shall be provided for a minimum of 10 years for owner-occupied units, or 20 years for rental units.~~

### Chapter 10.26 NORTH WENATCHEE BUSINESS DISTRICT (NWBD)

#### 10.26.005 Purpose.

The NWBD land use classification is intended for areas suitable for ~~retail and other services and related support facilities, including residential dwelling units~~the full range of office, service, and retail uses and ~~residential dwelling units meeting specific design requirements, not occupying grade level street frontage.~~ Some light manufacturing may be appropriate when consistent with design and residential requirements.

The development of pedestrian destinations and improved public spaces is a goal of the NWBD. (Ord. 2010-03 § 1 (Exh. A); Ord. 2007-34 § 2 (Exh. A))

### Chapter 10.28 SOUTH WENATCHEE BUSINESS DISTRICT (SWBD)

#### 10.28.005 Purpose.

The SWBD land use classification is intended for areas suitable for ~~ground floor retail services, entertainment and related services~~the full range of office, service, and retail uses and ~~with~~residential dwelling units ~~not occupying grade level street frontage~~ meeting specific design requirements. Some light manufacturing may be appropriate when consistent with design and residential requirements. The development of pedestrian destinations and improved public spaces is a goal of the SWBD. (Ord. 2010-03 § 1 (Exh. A); Ord. 2007-34 § 2 (Exh. A))

## Chapter 10.32 Waterfront Mixed Use (WMU)

#### 10.32.050 Development standards.

Development in this district shall meet all of the applicable provisions of this title and all other rules, regulations and provisions of the WCC, including the provisions below. Also, most residential developments, including mixed use development that features at least one dwelling unit, are subject to conformance with applicable sections of the Residential Design Guidelines.

~~(1) Housing Incentive. Any development that provides at least two dwelling units for families at or below 80 percent of the median income for Chelan County may add one story to their project. Dwelling units shall be provided for a minimum of 10 years for owner-occupied units, or 20 years for rental units. This incentive must adhere to the 90-foot height restriction.~~

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### Chapter 10.36 COLLEGE (CD) DISTRICT [new chapter]

#### 10.36.005 Purpose.

The College District (CD) land use classification is intended to implement the Wenatchee Urban Area Comprehensive Plan and specifically to:

- (1) Provide for the needs of the Wenatchee Valley College to grow and adapt to changing educational activities and needs,
- (2) Create safe, peaceful conditions in surrounding neighborhoods; and
- (3) Enhance the campus's visual character by maintaining an attractive edge around the campus and welcoming transition between the campus and the surrounding community.

#### 10.36.010 Land uses.

All permitted, accessory, conditional and prohibited uses allowed in this district shall be as shown in Chapter 10.10, District Use Chart, provided all applicable provisions of the WCC are met. Institutions of higher education, that are recognized by the State of Washington as such, are granted broad authority in the range of instructional, administrative, facility maintenance, and campus life functions in the College District. Any function and use within the scope of and operated by an institution of higher education, recognized by the State of Washington as such, shall be assumed to fit under that land use category and therefore is a permitted use. Any proposed land use that is operated by a third-party purveyor that is not an institution of higher education, shall be categorized under the appropriate land use category and reviewed in accordance with Title 10 WCC. The visibility of private businesses (the third party purveyors mentioned above) should be minimized from the exterior of the College District boundary.

#### 10.36.050 Development standards.

Development in this district shall meet all of the applicable provisions of WCC 10.46, this title and all other rules, regulations and provisions of the CD, including the provisions below.

(1). Development standards in the CD zoning district are detailed in WCC10.46.040.

##### (2) Campus edge:

- a) **Streetscape enhancements.** Provide streetscape enhancements within the public ROW in accordance with WCC 10.62.120(5) as a condition of development as determined by the City.
- b) **Screening of parking lots.** All parking lots shall be screened from a public right of way according to 10.62.120. Parking lots in the CD may be located in front of buildings provided enhanced landscaping per WCC 10.62.120 is installed.
- c) **Street frontage Landscaping.** Provide landscaping in areas visible from a public ROW according to 10.62.120.

(3). **Building articulation and massing for buildings greater than 60 feet away (as measured from the street ROW to the nearest point of the building) and visible from a public ROW.** In order to prevent the appearance of a monolithic structure as viewed from a public street, street facing building facades whose façade profile as seen from the nearest point on a public street ROW do not fit within a 45 degree cone of vision must feature a prominent building modulation or building element to break up the uniformity of the facade, including at least one of the following (a or b. directly below):

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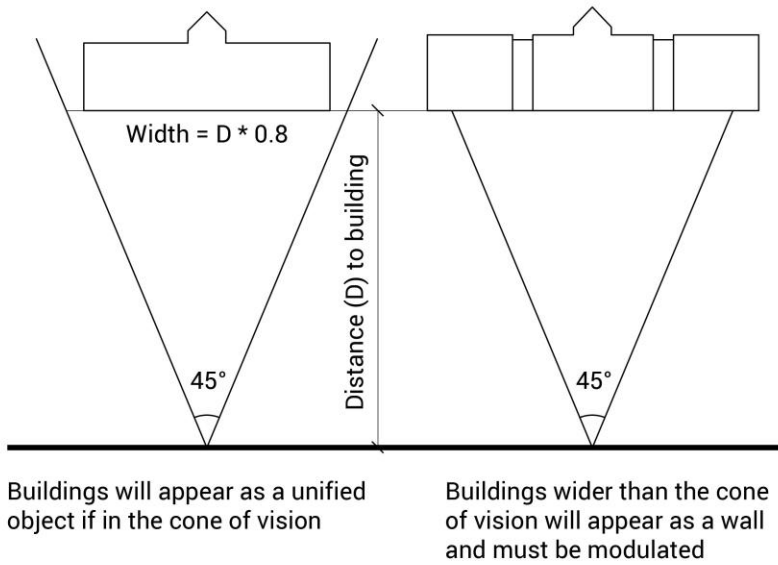
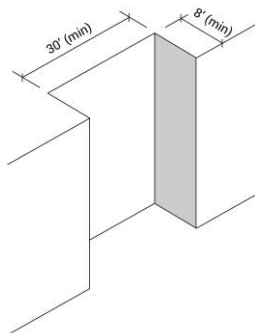


Figure 10.36.050(3.1). Buildings facing the viewer for which the width is less than 0.8x the distance to the viewer, will fit within the 45 degree cone of vision and appear as individual elements. Those buildings that are outside the cone of vision appear more like a wall. Therefore, such wider facades should be modulated per 10.36.050(3).



Figure 10.36.050(3.2). Seen from a proper distance, a building 0.8 times viewing distance will appear as an individual element within its surroundings. Even though the main façade is uniform, it does not feel too dominant. Note that the articulated corner, the articulated entry and the other building elements plus the amount of window area make the building more interesting and seem “friendlier”. Also note the way the trees reduce the building’s visual impact.

- (a) Prominent modulation at least 8 feet in depth and at least 30 feet wide.



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*Figure 10.36.050(3)(a). Minimum dimension needed to satisfy provision 10.36.050(3)(a)*

- (b) A prominent building element that breaks up the façade's visual bulk and meets both of the following criteria:
- (i) The feature must be at least 12 feet wide and visible from the public right-of-way, and.
  - (ii) The feature must be distinctive in that it features modulation or articulation through one of the following:
    - A projection or recess from the building façade of at least 8 feet, such as the right example of Figure 10.36.050(3)(b)(ii), or
    - A different geometric form such as a curved surface such as the middle example of Figure 10.36.050(3)(b)(ii), or
    - A functional element that extends at least two stories, such as the left example of Figure 10.36.050(3)(b)(ii), or
    - An element that varies the roofline at least one-half story in height, such as the right example in Figure 10.36.050(3)(b)(ii).
    - A courtyard or other semi-enclosed space of at least 200 square feet and visible from the ROW.



*Figure 10.36.050(3)(b)(ii). Examples of prominent building features*

(c) *Application and measurement of section 10.36.050(3)*

- (i) *Buildings whose façades are not perpendicular to a public right-of-way and whose footprint fits within the 45 degree cone of vision are not required to modulate per this section. Those buildings that do not fit within the 45 degree cone of vision, must modulate*

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per this section. See Figure 10.36.050(3)(c)(i).

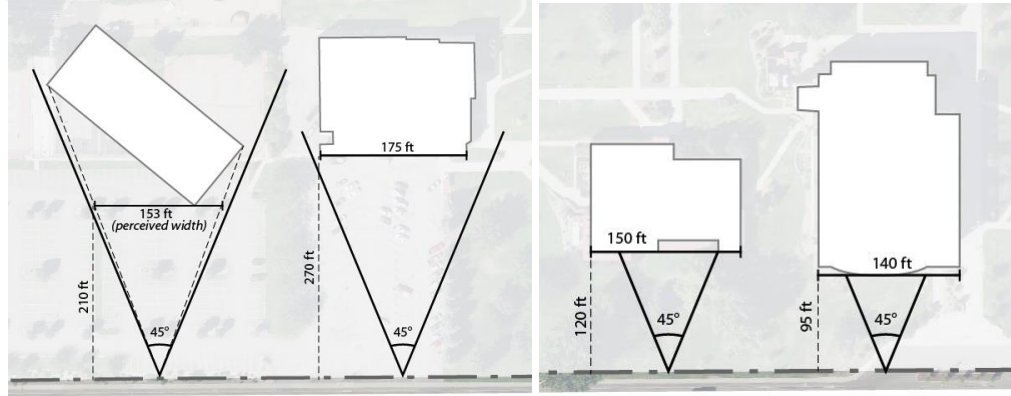


Figure 10.36.050(3)(c)(i) An example of measuring the cone of vision and application of cone of vision requirements. The two buildings on the right are outside the cone of vision and require modulation (which they both feature). The two on the left fit within the cone of vision and do not require modulation per 10.36.050(3).

**(4) Building articulation and massing for buildings between 15 feet and 60 feet away from a public ROW.** To add interest and human scale, building façades facing the street or directly adjacent public property and between 15 feet and 60 feet away from a public ROW or adjacent property line must feature building elements, articulation and/or details including the following described in (a), (b), and (c). (Note: An approved element may concurrently satisfy the requirements of 10.36.050(4)(a), (b), and (c), provided they meet the identified criteria or the applicable section.):

- a) Building façade articulation or modulation at roughly 50' intervals or less. “Articulation” may consist of:
  - i) Modulation – portions of the façade projecting or indenting at least 8 feet in depth
  - ii) Building elements such as multiple balconies, bay windows, and, varied and prominent window patterns,
  - iii) Changes in materials,
  - iv) Landscaping featuring trees (greater than 30' at maturity), understory shrubs and lawn or groundcover in accordance with Chapter 10.62 WCC.
  - v) A prominent building feature such as a tower, entry or corner treatment at least 20' in width and extending at least 2 stories (if the building is multistoried).
  - vi) Any feature that meets the criteria of Section 10.36.050(3)(b).
- b) Buildings within 60' of a public ROW or adjoining properties not under college ownership shall not feature untreated “Blank Walls” facing the street or adjacent properties that meet the following criteria:
  - Any wall or portion of a wall on the ground floor that has a surface area of 400 square feet of vertical surface without a window, door, or building modulation or other architectural feature.
  - Any ground level wall surface or section of a wall over 4 feet in height at ground level that is longer than 15 feet as measured horizontally without having a ground level window or door lying wholly or in part within that 15-foot section.

Acceptable treatments for Blank Walls shall include at least one of the following options:



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- i) Install a vertical trellis in front of the wall with climbing vines or plant materials. For large blank wall areas, the trellis must be used in conjunction with other treatments described below
- ii) Provide a landscaped planting bed or a raised planter bed in front of the wall of sufficient size to support plant materials that will obscure or screen at least 50 percent of the wall's surface within 4 years. Note that 10.62.120(6) also applies.
- iii) Provide artwork such as a mosaic, sculptural treatment or specially crafted building element. A mosaic tile or other mural (fabricated from permanent materials is acceptable but painted murals are not acceptable), over at least 30 percent of the blank wall surface.
- iv) Other method as approved by the City, such as terraced landscape element, green wall, or decorative masonry that features multiple colors and materials.
- v) In addition to the options above, special architectural lighting may be used to highlight a successful treatment.



Figure 10.36.050(4)(b). Examples of acceptable blank wall treatments.

(c) Building facades facing a public street or adjacent property and within 60 feet of the right of way or adjacent property must feature at least 2 of the following:

- (i) A prominent building entry with pedestrian covering and other enhancements such as special lighting or artwork.
- (ii) A prominent building element such as a turret, tower, or large window with enhancements meeting the criteria of (3).b above.



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*Figure 10.36.050.(4)(c)(ii). A prominent entry on the left and a prominent building element (and entry) on the right.*

(iii) Prominent artwork meeting the criteria of (4)(b)(iii) above, that can be perceived from the public ROW.

(v) A prominent roof element or at least a 1 story change in roof height.

(d) Building facades facing a public street or adjacent property must feature transparent or translucent fenestration (transparent or translucent windows and doors) of at least 20% of the façade facing the street or adjacent property. The fenestration must not be in the form of “ribbon windows”. “Window walls” (glazed surfaces that extend more than one story) shall not occupy more than 30% of the façade.



*Figure 10.36.050(4)(c)(v). Portions of front building facades illustrating the percentages of transparent fenestration (clear, transparent windows and doors). The upper left and lower examples feature about 35% transparency. The one on the upper right features about 25% transparency*



*Figure 10.36.050(4)(c)(vi) An example of ribbon windows and of a window wall.*



(5) **Storage standards and service areas.**

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- (a) Service areas (including but not limited to loading docks, trash dumpsters, compactors, recycling areas, electrical panels, and mechanical equipment areas) and exterior loading areas shall not be located within 20 feet of a public ROW.
- (b) Service areas must not be visible from the sidewalk and adjacent properties. Where the City finds that the only option for locating a service area is either visible from a public right-of-way or space or from an adjacent property, the area must be completely screened with either landscape or structural screening measures, as approved by the City.
- (c) Ground-mounted mechanical equipment must be located and screened to minimize visual and noise impacts to pedestrians on streets and adjoining properties.
- (d) Roof-mounted mechanical equipment must be located and screened so the equipment is not visible from the ground level of adjacent streets or properties within 20 feet of the structure. Match the color of roof mounted equipment with the exposed color of the roof to minimize visual impacts when equipment is visible from higher elevations nearby.
- (e) General Storage. Storage of materials and merchandise, other than for display purposes, shall be located inside buildings or enclosed and/or screened from public view by a 100 percent view-obstructing fence and/or landscaping.

### (6) Site planning for security

New buildings shall provide a written narrative that accompanies the site plan that demonstrated compliance with the following:

- (a) In site development planning, avoid:
  - i. Entrapment areas, where a person could become trapped with no exit route. Provide two means of egress from all outdoor spaces. Ensure entrapment conditions are avoided in the design of decks and other areas open to students and the public.

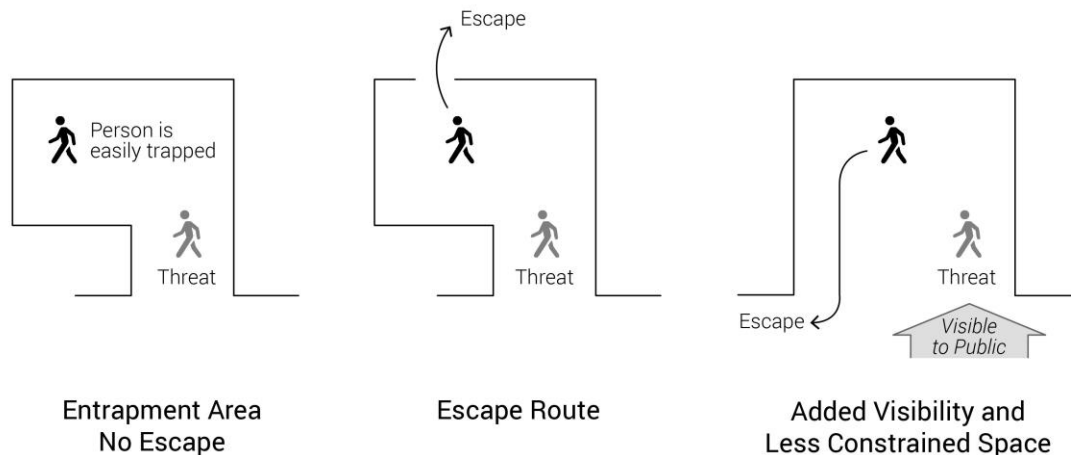


Figure 10.36.050(6)(a)(i). Site and building design should avoid entrapment areas.

- ii. Areas that are dark or not visible from a public space or right-of-way.
- iii. Vegetation and fences that restrict visibility into occupiable open space, pathways and building entries.

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- iv. Buildings, vegetation, or other objects (e.g., a storage enclosure) that block visibility into a space or provide places to hide.
- v. Screens or landscaping that blocks motorists' views of pedestrians crossing streets, driveways, and vehicular circulation areas.
- vi. Where visibility is necessary to avoid creating an unsecure area to reduce the potential for pedestrian/vehicle collisions, do not plant vegetation that will obstruct views between 2 feet and 8 feet above the ground. (See Figure 10.36.050(6)(a)(vi))

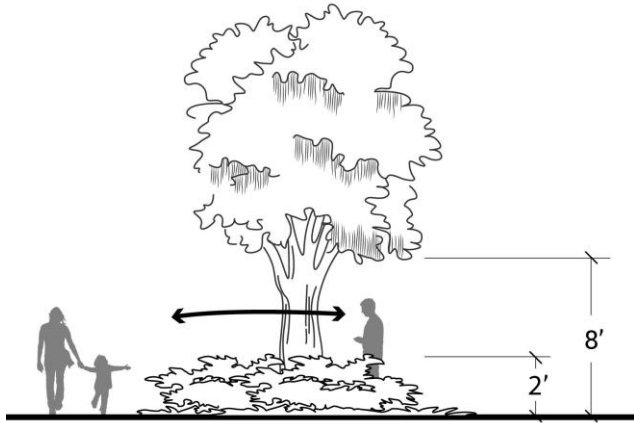


Figure 10.36.050(6)(a)(vi). Keep landscaping open between 2 feet and 8 feet above grade where there is the need for visibility.

(b) In the planning of the site and design of buildings and site elements, to the extent feasible provide for:

- i. "Passive surveillance," the ability of people occupying buildings and public spaces to view all parts of accessible spaces.

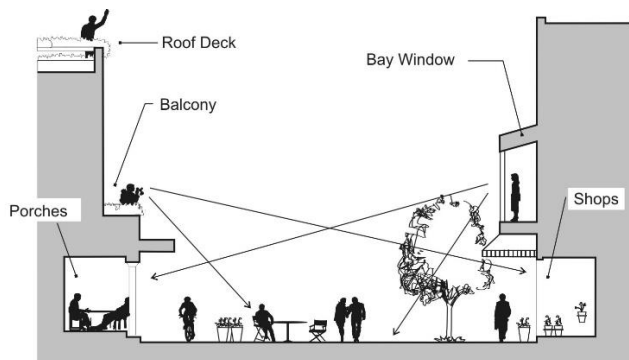


Figure 10.36.050(6)(b)(i): Example of passive surveillance.

- ii. Appropriate natural access control, that is, features that delineate where the general public should not enter without an invitation. For example, a low fence or hedge can indicate that people should not enter a yard or open space except through a gate or opening. Access control should not limit visibility or passive surveillance.
- iii. Defining territory. This means clearly indicating through site planning and design measures what parts of the site are open to the public and what parts are not. For example, pedestrian-oriented elements and walkways indicate that the



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public is welcome but fenced areas with a gate do not. Also, well maintained sites indicate that someone cares for the site and tends to discourage crime

**(7) Public Pedestrian Connections.** Public pedestrian access onto the campus from adjacent public streets shall be provided with minimum walkway width of at least 8 feet clear. An internal sidewalk or pathway system that enhances public pedestrian access within and to the campus shall be provided with a minimum walkway width of 6 feet.

**(8) Above grade structured parking.** Above grade structured parking within 60 feet of a public street or visible from the street must meet the following:

- a. Above grade structured parking and parking garages must be designed to obscure the view of parked cars at the ground level. This does not require opaque screening that would create security issues in conflict with subsection (6) Site Planning for Security.
- b. Above grade structured parking must use articulation treatments (not necessarily building modulation) that break up the massing of the parking structure and add visual interest. Alternatively, this requirement may be met by including street trees sufficient to screen the façade of the building as part of the street frontage landscaping required by WCC 10.62.120(2). To accomplish this, the trees of the selected tree species must be spaced no wider than the canopy spread of the tree species at maturity.



*Figure 10.36.050(8)(b): The parking garage on the left includes decorative grillwork and vines to enhance its façade. The one on the right includes landscaping to separate the parking from pedestrians*

- c. Provide landscape screening per 10.62.120
- (9) All applicable provisions of Chapters 10.47 and 10.48 WCC shall apply to development in this district.
- (10) Off-street parking shall be provided pursuant to Chapter 10.60 WCC.
- (11) Landscaping shall be provided pursuant to Chapter 10.62 WCC.
- (12) Signs are permitted in accordance with Chapter 10.50 WCC, Signs.

## Chapter 10.40 Overlay Districts and Standards

### **10.40.040 Waterfront recreational/residential overlay (RRO).**

This designation applies to those areas along the waterfront where the community encourages both residential and recreational uses. Office and small-scale retail uses are permitted on the ground and second floors as long as residential or recreational uses are the dominant uses of the site. ~~Permitted building heights extend up to four stories.~~ Development standards are again important, particularly to maintain a high quality of development and to enhance pedestrian access.

### **10.40.070 Mixed residential corridor (MRC).**

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Arterial corridors provide opportunities for infill, redevelopment and neighborhood services and serve as areas of higher density residential units which provide open space and multimodal facilities. The mixed residential corridor (MRC) is designated along arterial streets with high traffic volumes, multifamily units, public buildings and/or other nonresidential land uses. It is suitable for a range of residential, mixed use and nonresidential structures.

This section is applicable to properties within the MRC overlay as designated on the official zoning map that have street frontage and is only applicable to that portion of the property that is within 200 feet of the identified arterial street frontage. Properties, or the portion thereof, that are farther than 200 feet from the identified public right-of-way shall go through the conditional use process before the MRC overlay may apply.

All permitted, accessory, conditional and prohibited uses within this overlay shall be as shown in Chapter [10.10](#) WCC, District Use Chart.

Development in this overlay shall meet all of the applicable provisions of this title and all other rules, regulations and provisions of the WCC, and in addition shall comply with the following:

~~(2) Maximum height limits may be increased by one additional story, no more than 14 feet high, when parking is included as a story or is below grade; provided, that at a minimum, the additional story is "stepped back" at least six feet from the preceding floor to allow for larger buildings to appear in scale with surrounding smaller buildings and dwellings.~~

### **10.40.090 College district overlay (CDO). [new section]**

The intent of the college district overlay is to provide an opportunity for the expansion of the Wenatchee Valley College campus boundary, as defined by the College District (CD) boundary, while maintaining the current underlying zoning designation for existing property owners.

(1) Properties located within a CDO may develop in accordance with their underlying residential zoning district uses and standards.

(2) Applications for properties located within a CDO to develop in accordance with the College District uses and standards shall be processed as a Type III application in accordance with WCC Title 13 and shall be reviewed for:

(a) Ownership by an institution of higher education or an associated organization on behalf of an institution of higher education.



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(b) Proximity to the existing College District (CD) boundary. The proposed site and the existing College District shall be adjoining or located directly across a public right-of-way from each other.

(c) Consistency with the intent and standards of Chapter 10.36 WCC, College District (CD).

(d) Consistency with the goals and policies of the Wenatchee Urban Area Comprehensive Plan.

(3) The processing of the Type III application shall contain provisions for rezoning the subject property to College District (CD) at time of approval.

## Chapter 10.42 Planned Developments

### 10.42.060 Criteria and requirements.

(1) All planned developments, in addition to other requirements of the WCC and this title, shall meet the following criteria and requirements:

(a) The proposal shall conform with the Wenatchee urban area comprehensive plan, including any applicable subarea plans;

(b) The proposal will be harmonious with the surrounding area or its potential future use; and

(c) The proposal will be superior to or more innovative than conventional development and will provide greater public benefit than required under adopted zoning standards.

(2) Subdivision Requirements. A planned development shall abide by the procedures established in WCC Title 11, Subdivisions. If the land or structures within a proposed planned development are intended to be sold to more than one person, firm, or corporation, or are to include the dedication of land for the installation of improvements regulated by WCC Title 11, Subdivisions, then the proposed planned development shall be subject to the binding site plan, short or major subdivision proceedings, in addition to the requirements of this chapter.

(3) General Requirements.

(a) The developer shall bear the responsibility of achieving a compatible visual effect as seen from neighboring properties. Compatible includes, but is not limited to, size, shape, scale, mass, architectural design, screening, landscaping and separation sufficient to protect the interests of the surrounding properties, the neighborhood and the city as a whole;

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(b) Planned development projects shall be complete developments and may be required to include facilities such as paved streets, curbs, sidewalks, street lights, drainage, open space, recreational improvements, sanitary sewers, underground power and telephone lines, landscaping and off-street parking in excess of underlying zoning district requirements;

(c) The applicant shall use a design/development team that at a minimum consists of a licensed architect, engineer, and landscape architect for the design and construction phases of the project;

(d) Roads, if privately owned and maintained, shall conform to the same construction standards as public streets of the same class;

(e) No planned development shall be approved that will exceed the reserve capacity of any public facility or service or that will cause the level of service to fall below the levels established in the comprehensive plan;

(f) All public facilities and services must be available concurrently with the demand for such facilities as defined by the comprehensive plan;

(g) The applicant shall furnish the city with a performance bond or other acceptable surety guaranteeing installation of required public improvements prior to final approval of any civil infrastructure plans and/or prior to the issuance of a building permit, whichever occurs first; and

(h) Planned development projects shall begin construction within three years of approval. If after three years no development permits or approvals have been issued for the approved planned development, the planned development overlay created for the project shall be nullified and the original zoning classification returned to the land therein. In the case of phased development, the timetable for development must be submitted with the application materials and conditioned upon the approval of the development. Prior to the expiration of the three-year period, the applicant may request a one-time, one-year extension, which will be reviewed based on the following criteria:

(i) Any change in the zoning designation for the subject property and/or surrounding properties;

(ii) Any change in the comprehensive plan land use designation and/or policies relating to the subject property and/or surrounding properties; or

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(iii) Any change in surrounding uses or other circumstances that may affect the compatibility of the previously approved project and its current surrounding uses. (Ord. 2013-41 § 1 (Exh. B); Ord. 2010-03 § 1 (Exh. A); Ord. 2007-34 § 2 (Exh. A))

### Chapter 10.46 DEVELOPMENT STANDARD CHARTS

#### 10.46.020 Residential **district** development chart.

(1) General Dimensional Standards. See WCC [10.46.060](#) through [10.46.110](#) for measurement methods and Chapter [10.47](#) WCC for more specific standards with respect to specific residence types. Where these standards conflict with Chapter [10.47](#) WCC, the city shall determine which requirement applies. Note that the column indicating conditions/exceptions/references is not all-inclusive. There may be other conditions in WCC.

Standard	RS	RL	RM	RH	RF	Conditions/ Exceptions/ Reference
<b>Minimum Lot Dimensions</b>						
Lot Area	7,250 except 10,000 sf for a duplex	5,500 sf, except 8,000 sf for a duplex	3,000 sf, except 4,500 sf for a duplex	3,000 sf, except 4,000 sf for a duplex	<del>20</del> 10,000 sf <u>except</u> <u>15,000 for</u> <u>a duplex</u>	WCC <a href="#">10.46.060</a>
Cluster subdivision lot	4,000 sf	3,000 sf	N/A	N/A	<del>N/A</del> 7,250 sf	WCC <a href="#">10.47.060</a>
Lot Width	70 feet	50 feet	30 feet	30 feet	100 feet	WCC <a href="#">10.46.070</a>
Lot width alley access	50 feet	30 feet	25 feet	25 feet	100 feet	

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Standard	RS	RL	RM	RH	RF	Conditions/ Exceptions/ Reference
<u>Lot width at point of access</u>	<u>20 feet</u>	<u>20 feet</u>	<u>20 feet</u>	<u>20 feet</u>	<u>20 feet</u>	<u>WCC 10.46.070(3)</u>
Cluster subdivision lot	50 feet	30 feet	N/A	N/A	<del>N/A</del> <u>70 feet</u>	WCC <u>10.47.060</u>
Lot Depth	100 feet	80 feet	65 feet	60 feet	<del>150-100</del> <u>100</u> feet	WCC <u>10.46.070</u>
Cluster subdivision lot	80 feet	60 feet	N/A	N/A	<del>N/A</del> <u>100 feet</u>	WCC <u>10.47.060</u>
<b>Setback Standards (WCC <u>10.46.080</u>)</b>						
Street – Minimum	20 feet <sup>(X)(Y)</sup>	20 feet <sup>(X)(Y)</sup>	15 feet	10 feet	25 feet	WCC <u>10.46.080(2)</u> <sup>(X)</sup> 15 feet from private lanes <sup>(Y)</sup> 15 feet for cluster subdivisions
Street side – Minimum	10 feet	10 feet	10 feet	10 feet	20 feet	WCC <u>10.46.080(2)(a)(ii)</u>
Street – Minimum, individual garage, carport	20 feet				25 feet	WCC <u>10.46.080(2)(b)</u>
<del>Street – Maximum</del>	<del>N/A</del>	<del>N/A</del>	<del>N/A</del>	<del>N/A</del>	<del>300 feet</del>	<del>WCC 10.46.080(2)</del>
Rear – Minimum	20 feet	20 feet	15 feet <sup>(X)</sup>	10 feet <sup>(Y)(Z)</sup>	<del>45-20</del> feet	WCC <u>10.46.080(3)</u> <sup>(X)</sup> 10 feet if adjacent to an alley

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Standard	RS	RL	RM	RH	RF	Conditions/ Exceptions/ Reference
						(y) 15 feet for ground related dwelling units (z) WCC <a href="#">10.46.090(2)(c)</a>
Side – Minimum	5 feet	5 feet	5 feet	6 feet	10 feet	WCC <a href="#">10.46.080(4)</a>
Internal – Minimum	10 feet	10 feet	10 feet	10 feet	N/A	WCC <a href="#">10.46.080(5)</a>
<b>Building and Density Standards</b>						
Maximum Building Height	30 feet	30 feet	35 feet	60 feet <sup>(x)(y)</sup>	30 feet	WCC <a href="#">10.46.090</a> (x) WCC <a href="#">10.46.090(2)(b)</a> (y) WCC <a href="#">10.46.090(2)(c)</a>
Maximum Lot Coverage	40%	45%	55%	55%	<del>20</del> 35%	WCC <a href="#">10.46.100</a>
Duplexes, townhouses and multifamily	50%	55%	55%	55% <sup>(x)</sup>	N/A	(x) WCC <a href="#">10.46.100(2)(a)</a>
Cluster lots	55%	55%	N/A	N/A	<del>N/A</del> 45%	
Maximum Density	6 dwelling units per acre	8 dwelling units per acre	20 dwelling units per acre	40 dwelling units per acre	<del>1</del> 4 dwelling units per <del>lot</del> acre	WCC <a href="#">10.46.110</a>

(Ord. 2019-35 § 5; Ord. 2016-22 § 1 (Exh. B); Ord. 2010-25 § 4; Ord. 2010-03 § 1 (Exh. A); Ord. 2007-34 § 2 (Exh. A))

**10.46.030 Mixed use district development chart.**

(1) General Dimensional Standards.

**Exhibit A:**

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Standard	OMU	WMU	RMU	Conditions/ Exceptions/ Reference
<b>Minimum Lot Dimensions</b>				
Minimum lot area	3,000 sf	None	5,000 sf	WCC <a href="#">10.46.060</a>
Lot width	40 feet	None	40 feet	WCC <a href="#">10.46.070</a>
Lot with alley access	30 feet	None	30 feet	
<u>Lot width at point of access</u>	<u>20 feet</u>	<u>None</u>	<u>20 Feet</u>	<u>WCC10.46.070(3)</u>
Lot depth	80 feet	None	80 feet	WCC <a href="#">10.46.070</a>
<b>Minimum Setbacks (WCC <a href="#">10.46.080</a>)</b>				
Street	10 feet	None	10 feet, except 25 feet for frontage on Orondo Ave.	WCC <a href="#">10.46.080</a> (2)
Street, individual garage, carport	20 feet	20 feet	20 feet	WCC <a href="#">10.46.080</a> (2) and <a href="#">10.46.080</a> (2)(b)
Rear	10 feet <sup>(x)</sup>	None <sup>(x)</sup>	10 feet <sup>(x)</sup>	WCC <a href="#">10.46.080</a> (3) and <a href="#">10.46.080</a> (3)(f) <sup>(x)</sup> WCC <a href="#">10.46.090</a> (2)(c)
Side	5 feet <sup>(x)(y)</sup>	None <sup>(y)</sup>	5 feet <sup>(y)</sup>	WCC <a href="#">10.46.080</a> (4) <sup>(x)</sup> WCC <a href="#">10.46.080</a> (4)(d) <sup>(y)</sup> WCC <a href="#">10.46.090</a> (2)(c)
<b>Building and Density Standards</b>				
Maximum building height	60 feet <sup>(y)</sup>	90 feet <sup>(x)(y)</sup>	60 feet <sup>(y)</sup>	WCC <a href="#">10.46.090</a> <sup>(x)</sup> 60 feet between First and Kittitas Streets <sup>(y)</sup> WCC <a href="#">10.46.090</a> (2)(c)



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Standard	OMU	WMU	RMU	Conditions/ Exceptions/ Reference
Maximum lot coverage	50% <sup>(x)</sup>	100%	35% <sup>(x)</sup>	WCC <a href="#">10.46.100</a> <sup>(x)</sup> WCC <a href="#">10.46.100(2)</a>

(Ord. 2019-35 § 5; Ord. 2016-22 § 1 (Exh. B); Ord. 2010-03 § 1 (Exh. A); Ord. 2007-34 § 2 (Exh. A))

**10.46.040 ~~Nonresidential-Commercial district~~ development chart.**

(1) General Dimensional Standards.

Standard	CN	<u>CD</u>	CBD	NWBD and SWBD	I	Conditions/ Exceptions/ Reference
<b>Minimum Lot Dimensions</b>						
Lot area	10,000 sf	<u>None</u>	None	None	None	WCC <a href="#">10.46.060</a>
Lot width	60 feet	<u>None</u>	None	None	40 feet	WCC <a href="#">10.46.070</a>
Lot with alley access	40 feet	<u>None</u>	None	None	40 feet	
<u>Lot width at point of access</u>	<u>20 feet</u>	<u>None</u>	<u>None</u>	<u>None</u>	<u>None</u>	<u>WCC10.46.070(3)</u>
Lot depth	100 feet	<u>None</u>	None	80 feet	80 feet	
<b>Setback Standards (WCC <a href="#">10.46.080</a>)</b>						
Street – Minimum	0 – 10 feet <sup>(x)</sup>	<u>15 feet</u>	0 – 10 feet <sup>(x)</sup>	0 – 10 feet <sup>(x)</sup>	0 feet	WCC <a href="#">10.46.080(2)</a> <sup>(x)</sup> WCC <a href="#">10.46.080(2)(d)</a>
Front Street – Maximum	15 feet for ground-level nonresidential uses	<u>None</u>	None	15 feet for ground-level nonresidential uses	None	

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Standard	CN	<u>CD</u>	CBD	NWBD and SWBD	I	Conditions/ Exceptions/ Reference
Minimum sidewalk widths	10 feet	<u>10 ft</u>	12 feet	10 feet	None	WCC <a href="#">10.46.080</a> (2)(d)(i)
Street – Minimum, individual garage, carport	20 feet	<u>20 feet</u>	None	20 feet	None	WCC <a href="#">10.46.080</a> (2)(b) and (2)(d)
Rear – Minimum	0 feet <sup>(x)</sup>	<u>10 feet</u>	0 feet <sup>(y)</sup>	0 feet <sup>(x)(y)</sup>	0 feet <sup>(y)</sup>	WCC <a href="#">10.46.080</a> (3) <sup>(x)</sup> WCC <a href="#">10.46.080</a> (3)(f) <sup>(y)</sup> WCC <a href="#">10.46.090</a> (2)(c)
Side – Minimum	5 feet	<u>10 feet</u>	0 feet <sup>(x)(y)</sup>	0 feet <sup>(x)(y)</sup>	0 feet <sup>(x)(y)</sup>	WCC <a href="#">10.46.080</a> (4) <sup>(x)</sup> WCC <a href="#">10.46.080</a> (4)(e) and (f)
<b>Building Standards</b>						
Maximum building height	35 feet	<u>60 feet<sup>(y)</sup></u>	90 feet <sup>(x)</sup>	90 feet <sup>(x)</sup>	90 feet <sup>(x)</sup>	WCC <a href="#">10.46.090</a> <sup>(x)</sup> WCC <a href="#">10.46.090</a> (2)(c) <sup>(y)</sup> <a href="#">WCC10.46.090(2)(d)</a>
Maximum lot coverage	50% <sup>(x)</sup>	<u>100%</u>	100%	100%	70%	WCC <a href="#">10.46.100</a> <sup>(x)</sup> WCC <a href="#">10.46.100</a> (2)

**10.46.050 Overlay district development chart.**

(1) General Dimensional Standards. If additional development standards apply, they are listed in Chapter [10.40](#) WCC.

Standard	MRC	WMU-RRO	WMU-PO	Conditions/ Exceptions/ Reference
<b>Minimum Lot Dimensions</b>				

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<b>Standard</b>	<b>MRC</b>	<b>WMU-RRO</b>	<b>WMU-PO</b>	<b>Conditions/ Exceptions/ Reference</b>
Lot Area	Same as underlying zoning district	Same as underlying zoning district	Same as underlying zoning district	WCC <a href="#">10.46.060</a>
Lot Width	<del>None</del> <u>Same as underlying zoning district</u>	None	None	WCC <a href="#">10.46.070</a>
<u>Lot width at point of access</u>	<u>Same as underlying zoning district</u>	<u>Same as underlying zoning district</u>	<u>Same as underlying zoning district</u>	
Lot Depth	<del>None</del> <u>Same as underlying zoning district</u>	None	None	WCC <a href="#">10.46.070</a>
<b>Setbacks (WCC <a href="#">10.46.080</a>)</b>				
Street	15 feet	Same as underlying zoning district	Same as underlying zoning district	WCC <a href="#">10.46.080</a> (2)
Rear	10 feet	Same as underlying zoning district	Same as underlying zoning district	WCC <a href="#">10.46.080</a> (3)
Side	5 feet	Same as underlying zoning district	Same as underlying zoning district	WCC <a href="#">10.46.080</a> (4)
<b>Building Standards</b>				
Maximum Building Height	Same as underlying zoning district <sup>(x)</sup>	60 feet	90 feet <sup>(y)</sup>	WCC <a href="#">10.46.090</a> <sup>(x)</sup> WCC <a href="#">10.46.090</a> (2)(c) <sup>(y)</sup> 60 feet between First and Kittitas Streets

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Standard	MRC	WMU-RRO	WMU-PO	Conditions/ Exceptions/ Reference
Maximum Lot Coverage	55%	Same as underlying zoning district	Same as underlying zoning district	WCC <a href="#">10.46.100</a>

(2) Grandview Historic District Overlay. Standards applicable to the setbacks of primary structures in the Grandview historic district overlay as detailed in the Grandview Historic District Preservation Handbook, adopted by reference pursuant to WCC [10.40.060](#), supersede those development standards of the underlying zoning district. Accessory structures shall comply with the underlying zoning district standards. (Ord. 2019-35 § 5; Ord. 2016-22 § 1 (Exh. B); Ord. 2013-09 § 3; Ord. 2010-03 § 1 (Exh. A); Ord. 2007-34 § 2 (Exh. A))

**10.46.070 Minimum lot width and depth calculations.**

(2) For non-rectangular-shaped lots, the minimum lot width circle applies to help ensure that there is a minimum buildable area included in each lot created consistent with the intent for each zoning district.

(a) The minimum lot width circle establishes that at least some portion of a lot shall be at least as wide as the minimum lot width. The lot width circle shall not include streams, wetlands, or their associated buffers as designated in Chapter [12.08](#) WCC.

**(3) Lot width at point of vehicular access**

(a) The lot width at point of vehicular access is the horizontal linear distance a lot, or a portion of a lot, adjoins a public or private street or easement and is used to comply with WCC11.20.050(1).

**10.46.075 Lot line angles.**

(1) The shape of lots shall be generally rectangular in shape and minimize the number of angles.

(2) Side lot lines shall be straight lines running within 20 degrees of perpendicular to the road upon which the lots front for a minimum distance equal to half the required lot depth.- Side lot lines on curved roads should run at or near radially to the curve.

(3) Flag lots shall be avoided whenever possible, except on the outside radius of a curved street, where side lot lines should run at or near radially to the curve not to exceed half the minimum lot depth.

## Exhibit A:

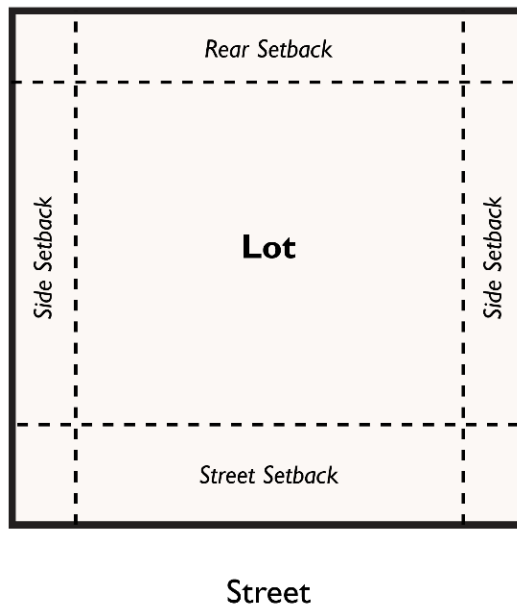
Proposed amendments to Wenatchee City Code Titles 10 and the Official Zoning Map for the public hearing with Planning Commission on November 18, 2020.

(4) For the purpose of promoting good lot design which facilitates site planning for home placement, open space, infrastructure, or addressing existing site constraints, the Director may grant limited exceptions to these rules.

### 10.46.080 Setback measurements and exceptions.

The development charts in this chapter provide minimum standards for street, side, rear, and interior setbacks. Figure 10.46.080 shows the location of some setback types on a typical lot. Clarification on how these setbacks are measured is provided in subsections (1) through (9) of this section.

Figure 10.46.080



Setback types.

(1) Measurement. All setbacks shall be measured at right angles, or as near to right angles as possible, to the nearest property line (unless where otherwise noted) in a plane horizontal to the ground. Setback directions and exceptions shall be determined as provided in subsections (2) through (59) of this section.

(2) Street Setbacks. The street setback is measured from the street right-of-way unless otherwise noted.

(a) Street Setback Clarifications/Exceptions in All Applicable Zones.

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(ii) For corner lots in residential zones, the street setback is measured from the street right-of-way that ~~includes~~ is the property's ~~street address and primary vehicle access driveway~~. The other lot frontage is referred to as the street side setback. On corner lots accessed via an alley, the property owner shall designate the street and street side setbacks.

### (c) Street Setback Clarifications/Exceptions in Residential Zones.

~~(ii) In all residential districts except the RH zone, setbacks on corner lots may be reduced to a minimum of 10 feet from the street right-of-way on the one side without a front entrance. In this case, subsections (2)(a)(ii), (2)(a)(iii) and (2)(c)(iii) of this section are not applicable.~~

(iii) When the garage in the RF, RS or RL district is oriented to the side or located at or behind the required street setback, the front of the residence may extend five feet into the ~~front street~~ setback. This exception shall not permit the front of a residence to be less than 15 feet from the public or private street.

~~(iiiv)~~ Upper floor decks constructed over driveways may project a maximum of eight feet into the required street setback in the RF, RS, and RL zones and up to three feet in the RM zone, provided such projections remain unenclosed, except for required guard rails.

### (d) Street Setback Clarifications in Mixed Use and ~~Nonresidential-Commercial~~ Zones.

(ii) Ten-foot minimum street setbacks are required for ground floor residential uses.

Exceptions:

(A) Live-work residences provided they meet the provisions of subsection (2)~~(de)~~(~~iiiv~~) of this section.

### (3) Rear Setbacks.

(g) Only one rear setback is required. On corner lots that are generally rectangular in shape, an applicant may choose between the two property lines that are not adjacent to a street as to which will be used to measure the rear and side setbacks provided all existing and proposed structures comply with the applicable setback standards.



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(h) Buildings, or portions thereof, containing dwelling units whose only solar access (windows) is from the applicable rear of the building (facing towards the rear property line) must be set back from the applicable rear property lines at least 15-feet. See Figure 10.46.080(3)(h).

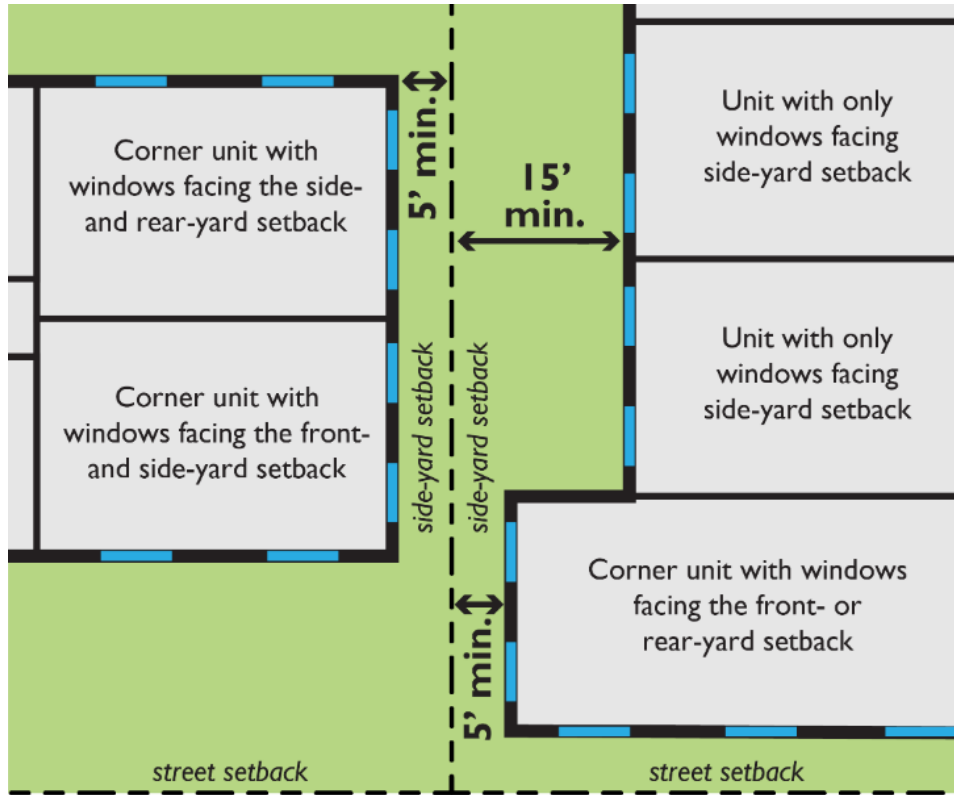


Figure 10.46.080(3)(h) Light/air access and privacy standards for structures containing dwelling units along side and rear property lines. Note that the minimum setbacks noted above only apply to buildings (and portions thereof) featuring the stated characteristics.

(4) Side Setbacks.

(g) Buildings, or portions thereof, containing dwelling units whose only solar access (windows) is from a building façade facing towards a side property line must be set back from the applicable side property lines at least 15-feet. See Figure 10.46.080(3)(h).

**10.46.090 Building height calculations, exceptions, and modifications.**

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### (1) Building Height Calculations.

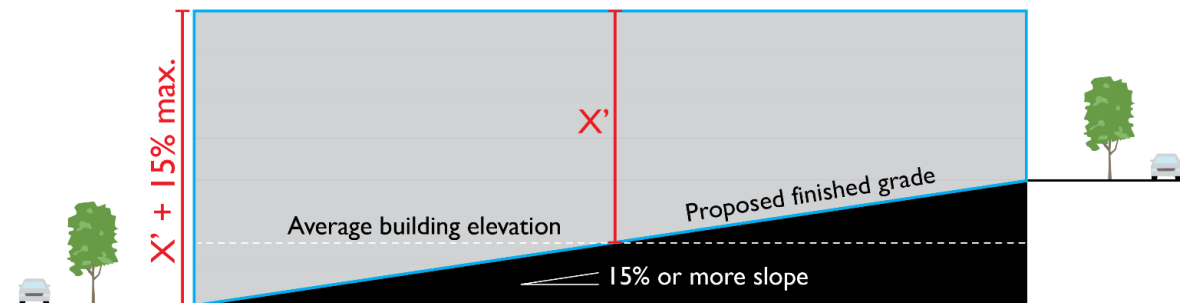
(a) Building height, except where otherwise noted, is measured to the highest point of a flat roof or the mean height between the eaves and ridge of a pitched roof from the average elevation of the proposed finished grade adjacent, within two feet, to the building foundation.

(b) On sites where the slope within the proposed building footprint exceeds 15%, nNo building shall have a non-averaged height measured from the finished grade to the highest point of the building on the-any downslope facade(s) as to exceed the underlying maximum height by an extent equal to or greater than 15 percent (as shown in Figure 10.46.090(1)(b)).

**Figure 10.46.090(1)(b)**

### Measuring building height on sloping sites (>15%).

X = Maximum height of zoning district



### (2) Special Zone or Area-Specific Height Standards/Exceptions.

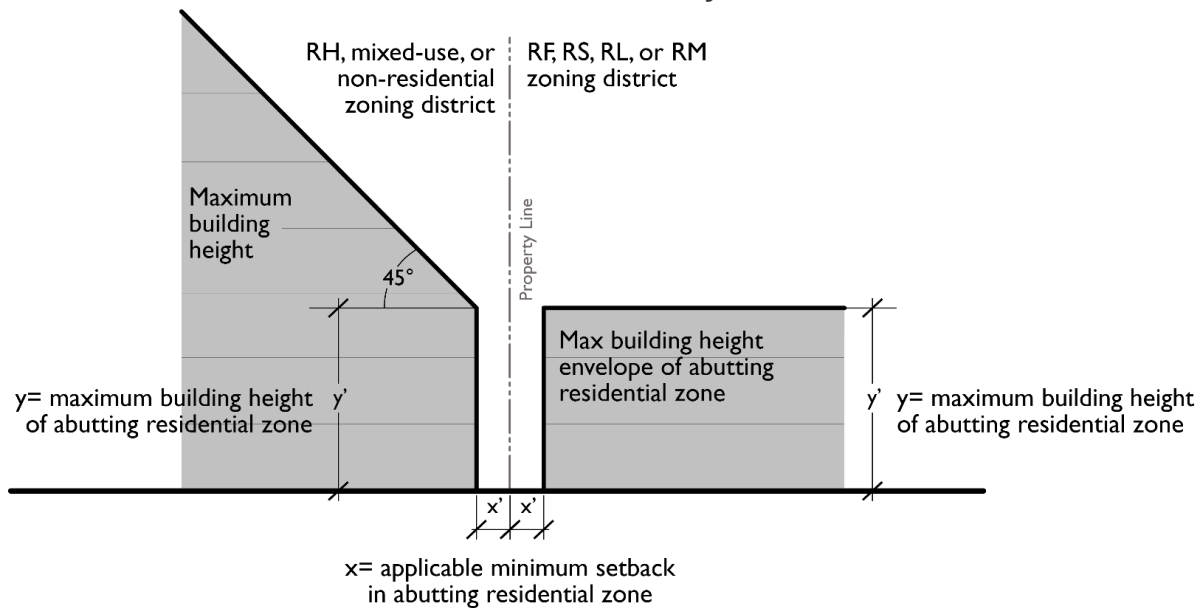
(c) Special Building Setback and Height Standards Where High Intensity Zones Abut Low to Medium Density Residential Zones. For RH, mixed use, or nonresidential-commercial zoned sites abutting RF, RS, RL, or RM zones, the side and rear setback shall be the same as the applicable residential zoning district, up to the maximum height limit of the applicable residential zoning district, above which the minimum side setback shall increase at a 45-degree angle inward up to the maximum height of the applicable zoning district. See Figure 10.46.090(2)(c) for an illustration.

**Figure 10.46.090(2)(c)**

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### Illustrating special building setback and height standards where high intensity zones abut low to medium density residential zones.



(d) Height restrictions in the CD district. Portions of buildings in the CD district and within 60' of a public right-of-way shall be no higher than 35'.

#### 10.46.110 Density calculations and exceptions.

(3) Exceptions to density standards. Exceptions to established density standards shall be granted in the following instances:

(a) When an exception is granted for a particular use described in Chapter 10.47.

(b) Additional density may be granted for affordable housing pursuant to RCW 35A.63.300 when local needs can be demonstrated compliant with the Comprehensive Plan.

## 10.47 Residential Use Standards

### 10.47.015 Applicability

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Proposed amendments to Wenatchee City Code Titles 10 and the Official Zoning Map for the public

The standards described in this chapter apply to the establishment of the applicable housing types, except as otherwise noted in this Chapter or in any cited codes or documents. Applicability includes the following situations:

- New construction
- The conversion of existing structure(s) to a particular housing type. When existing structure(s) are converted to housing, regardless of whether they contain housing units already, the applicant shall demonstrate compliance with the standards that apply to the proposed housing type(s).

### 10.47.040 Accessory dwelling units (ADU).

All accessory dwelling units, where defined in WCC [10.08.040](#) and where allowed by Chapter [10.10](#) WCC, District Use Chart, shall meet the following standards unless otherwise regulated within this code:

(2) Standards for All Accessory Dwelling Units, Including Those Attached to the Main Residence and Those That Are in a Separate Building but on the Same Property.

(c) Occupancy. Only the property owner, which shall include title holders and contract purchasers, may apply for an ADU. For properties in the RS, ~~and RL, and RF~~ zones, the property owner shall occupy either the primary dwelling or the ADU as their principal residence for at least six months of the year.

(k) Covenants. The property owner shall file a restrictive covenant with Chelan County's auditor's office for the subject property prior to final building inspection approval for the ADU. The recorded information shall:

(ii) State that the owner(s) must resides in either the principal or accessory dwelling unit if located in the RS, RL, or RF zoning districts;

(l) Usable Open Space. No additional open space is required for the ADU or DADU. Lots containing an ADU or DADU must demonstrate compliance with the open-space standards for single-family residences as set forth in WCC10.47.050(2)(e) before an ADU or DADU can be legally established.

(3) Standards for All Detached Accessory Dwelling Units (DADU).

~~(b) Usable Open Space. All lots containing ADUs and DADUs are subject to minimum usable open space standards for single-family uses as set forth in WCC [10.47.050\(2\)\(e\)](#).~~

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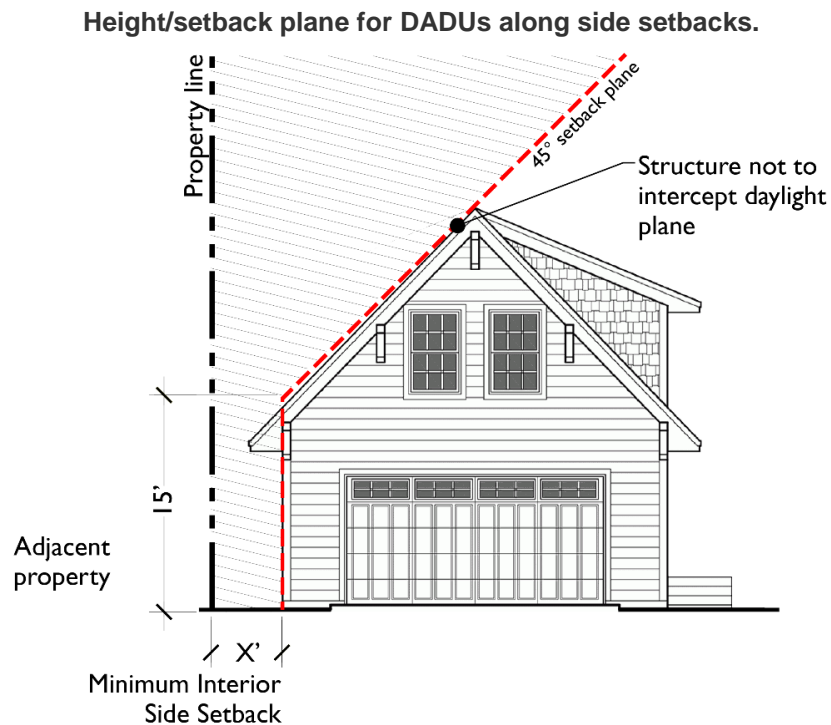
(be) Maximum Height.

(i) DADUs with a roof pitch of 6:12 or greater: 25 feet.

(ii) DADUs with a roof pitch of less than 6:12: 20 feet.

(iii) Special Side Setback Standards for DADUs. From a height of 15 feet at the minimum side setback, DADUs shall step back at a 45-degree angle away from the side property line as shown in Figure 10.47.040(3) below. Structures setback further than the minimum side setback, shall not encroach into the setback/daylight plane.

Figure 10.47.040(3)



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### 10.47.050 Single-family dwellings.

All single-family dwellings, where defined in WCC [10.08.055](#) and where allowed by Chapter [10.10](#) WCC, District Use Chart, shall meet the following standards unless otherwise regulated within this code:

(2) Standards.

(f) Multiple Single-Family Dwellings on One Lot. Multiple single-family dwellings may be placed on one lot provided the dwellings are located and designed in a manner so that the lot could be subdivided in the future and meet applicable lot dimensions, setbacks, and lot coverage standards applicable to the zoning district and other applicable standards in ~~this section~~ [Title 10 and Title 11](#). The burden of proof for demonstrating compliance with the applicable standards for the potential short subdivision shall be on the applicant. Submittal requirements will therefore exceed those for a standard building permit. Additional information includes, but may not be limited to, a site plan that includes the “proposed” lot lines, access and utilities, any applicable easements, dimensions, and any other applicable information necessary to demonstrate compliance. Permitting multiple single-family dwellings on a single lot in no way guarantees the ability to subdivide in the future. Future proposed land divisions would need to meet the standards in place at the time of application. (Ord. 2019-35 § 6)

### 10.47.080 Infill-cottage housing (two to three units).

Infill-cottage housing developments refer to a type of cottage housing (defined in WCC [10.08.050](#)) that features between two to three cottage dwellings. Infill-cottage housing developments, where allowed by Chapter [10.10](#) WCC, District Use Chart, shall meet the following standards unless otherwise regulated within this code:

(2) Standards.

(f) Access Standards.

(ii) A shared driveway meeting the requirements of WCC [11.20.020\(4412\)](#)(a)(i) through (xi) is allowed. Such shared driveway may be used to access up to three cottage dwellings, provided all other applicable standards are met.

(k) Landscaping. See ~~Residential Design Guidelines Section D.1.~~ [WCC 10.62](#).

### 10.47.120 Courtyard housing.

(2) Standards.



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Proposed amendments to Wenatchee City Code Titles 10 and the Official Zoning Map for the public hearing with Planning Commission on November 18, 2020.

(d) Density. The maximum density shall be as described in WCC [10.46.020](#), except that dwelling units under 1,000 square feet (excluding unenclosed front porches) may be counted as three-quarters of a unit (resulting in a ~~400-percent~~1/3 density bonus).

### 10.47.130 Townhouses.

All townhouses, as defined in WCC [10.08.135](#) and where allowed by Chapter [10.10](#) WCC, District Use Chart, are subject to compliance with the Residential Design Guidelines and shall meet the following standards unless otherwise regulated within this code:

#### (2) Standards.

(a) Setbacks. The minimum setbacks set forth in Chapter [10.46](#) WCC apply to development frontage and external side and rear setbacks of the entire townhouse development. Townhouse units within a single development are exempt from internal side and rear setbacks unless otherwise noted below. However, if the development includes the creation of new lots, the new development shall conform to the provisions of WCC [11.32.080](#), Unit lot subdivisions.

(iv) The minimum internal setback between townhouse buildings built around and facing a ~~common open space or~~ pathway is 15 feet ~~from between~~ the ~~front~~ facades of the ~~opposite each~~ building.

(v) The minimum ~~street~~ setback for townhouses (including porches and covered entries) ~~built along and oriented to a private lane or drive shall be~~ not fronting on a public street shall be:

(A) 10 feet from the back edge of the sidewalk or ~~25-15~~ feet from the edge of roadway/driveway pavement ~~for an internal drive (pursuant to (2)(d) of this section)~~

(B) 15 feet from a private lane easement or tract

(C) The minimum setback for a garage facing a private lane ~~or internal drive aisle~~ shall be at least five feet further from ~~the roadway than~~ the ~~front~~ building ~~facade~~ facade facing the private lane or internal drive aisle, including a porch or covered entry, and no less than 20 feet from the edge of roadway/driveway pavement and sidewalk if applicable.

(c) Front-Loaded Townhouses. Private driveways (maximum 12 feet wide) and garages facing the street (single-car width and a maximum 10 feet wide) are allowed in the following circumstances:

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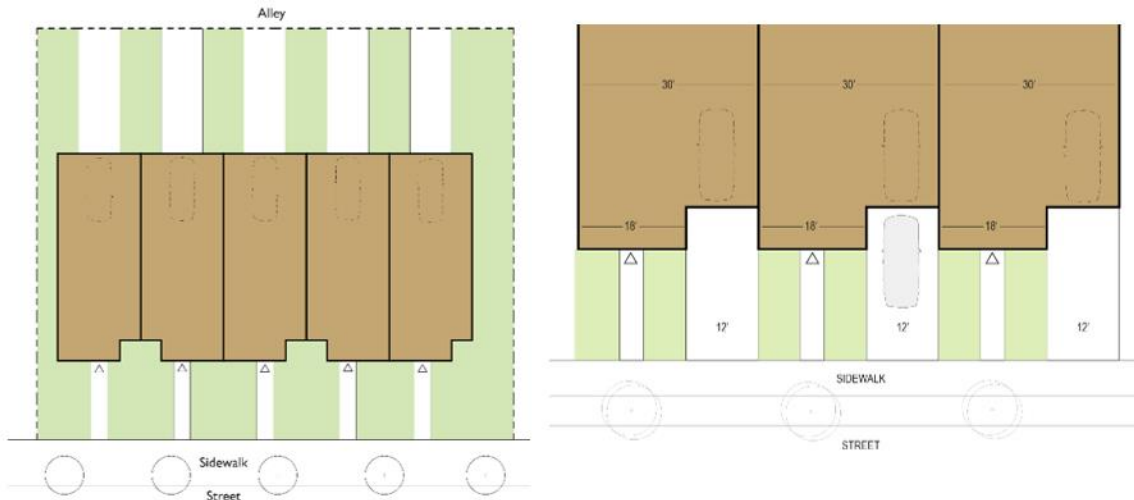
Proposed amendments to Wenatchee City Code Titles 10 and the Official Zoning Map for the public hearing with Planning Commission on November 18, 2020.

(i) Where townhouse units are at least 30 feet wide. See Figure 10.47.130(c) below for examples; and

(ii) Where townhouses front a street other than a designated principal or minor arterial.

**Figure 10.47.130(2)(c)**

**Townhouse garage access configurations – acceptable and unacceptable examples.**



The left example includes alley access to private garages. The right example includes front-loaded townhouses units that meet the 30' minimum width standard for such designs that include individual 12' maximum driveway widths accessed from the street.



The left example features individual driveways and garages for townhouses less than 30' wide (and thus would not be allowed).

(d) Townhouses with Shared Access.

(ii) Minimum building separation along-across internal drive aisles shall be 24 feet. Projections into this minimum building separation standard are permitted for each building consistent with

## Exhibit A:

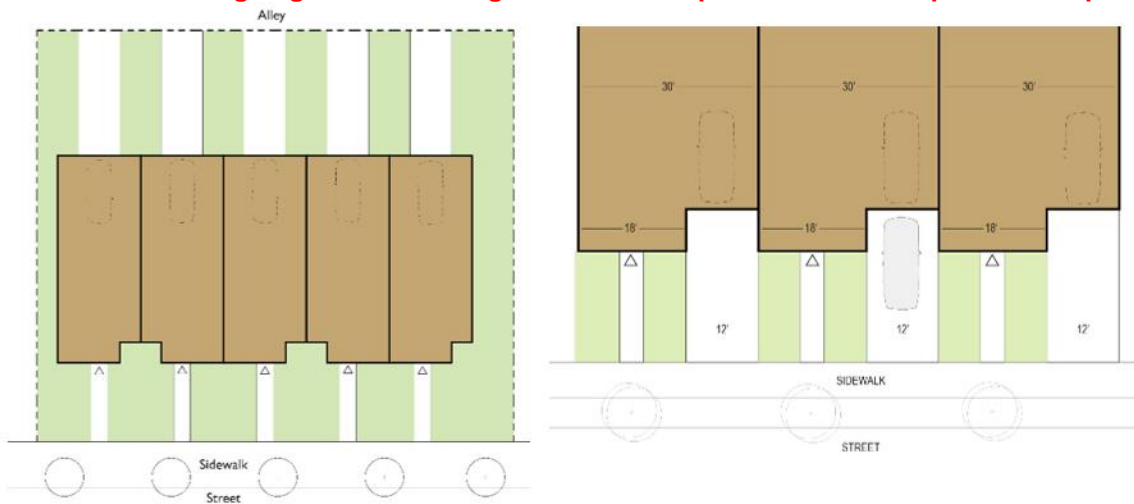
Proposed amendments to Wenatchee City Code Titles 10 and the Official Zoning Map for the public hearing with Planning Commission on November 18, 2020.

the reduced side setback provisions referenced in WCC [10.46.080\(4\)](#). The purpose is to provide adequate vehicular turning radius, allow for landscaping elements on at least one side, and to provide adequate light and air on both sides of the dwelling units and vehicle areas, which often function as usable open space for residents.

(iii) Portions of internal drive aisles within townhouse developments that have parking spaces that are directly adjacent shall meet the dimensional standards in 10.60.030.

**Figure 10.47.130(c)**

### **Townhouse garage access configurations — acceptable and unacceptable examples.**



The left example includes alley access to private garages. The right example includes front-loaded townhouses units that meet the 30' minimum width standard for such designs that include individual 12' maximum driveway widths accessed from the street.



The left example features individual driveways and garages for townhouses less than 30' wide (and thus would not be allowed).

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Proposed amendments to Wenatchee City Code Titles 10 and the Official Zoning Map for the public hearing with Planning Commission on November 18, 2020.

### 10.47.150 Multifamily development.

All multifamily dwellings, as defined in WCC [10.08.055](#), and where allowed by Chapter [10.10](#) WCC, District Use Chart, are subject to compliance with the Residential Design Guidelines and shall meet the following standards unless otherwise regulated within this code. Exception: Courtyard housing (see WCC [10.47.120](#)) and townhouses (see WCC [10.47.130](#)) are exempt from the standards herein.

#### (2) Standards.

(d) Site Design and Orientation. Dwellings within a multifamily housing development shall be oriented to provide both access and privacy for the residents.

(i) Clear and obvious pedestrian access and visual access between the sidewalk (or the street if there is no sidewalk) and ~~the any shared multifamily entrance(s) or exterior primary entrances to a unit (if applicable)~~ are required for new multifamily dwellings.

#### (g) Access, Parking, and Garages.

(iii) Parking areas shall be located to the side or rear of multifamily units (not between the multifamily building and the street front unless no other configuration is feasible, as determined by the ~~city~~Director). Landscaping in ~~the~~ form of hedges or architectural barriers is required to screen surface parking lots for neighboring properties and common open spaces.

(j) General Storage. Storage of personal property and materials, of residents as well as managers and owners of a development, shall be located outside of required street setback areas, and it shall be entirely within an enclosed building or screened from view of the surrounding properties with a sight obscuring fence and landscaping. ~~Developments for which WCC10.48.320 applies, shall also meet those standards.~~

## 10.48 General Development Regulations

### 10.48.040 Pedestrian connections.

All pedestrian connections shall meet the following standards unless otherwise regulated within this code:

Pedestrian access to primary building entrances from adjacent public streets shall be provided. An internal sidewalk or pathway system, at least five feet in width, that enhances pedestrian access within and through the site shall be provided, including from designated parking areas to primary building

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entrances. Single-family dwellings and duplexes are excluded from this requirement unless otherwise required in Chapter 10.47., ~~unless they are part of a broader development.~~

### 10.48.130 Fences and clear view triangle.

All fences where allowed by this title shall meet the following standards unless otherwise regulated within this code:

(1) Residential and mixed use zoning district fences- may be placed on or behind the property line and in a required setback- shall not exceed the following standards:

(a) Street and street side setback areas: four feet in height for a solid fence. Or six feet in height when the fence material is less than 50 percent view-obstructing, such as chain-link, lattice, spaced picket, or rail fences.

~~(b) Side setback: six feet.~~

~~(c) Rear setback: six feet.~~

(b) Fences outside of required street and street side setbacks area may be solid and shall not exceed 6 feet in height.

### 10.48.320 Residential Shared General Storage

Residential developments with more than 20 housing units may designate an area for the common storage of personal property and recreational vehicles and shall meet the following standards:

- (1) The use of the storage area shall exclusively be available to residents, managers, and owners of the development.
- (2) The property owner shall file a restrictive covenant with the Chelan County Auditor's office for the subject property prior to final building inspection approval, if applicable, or otherwise using an outdoor area for storage. The recorded information shall include provisions ensuring the use of the facility continues to comply with (1) of this section and for the ongoing maintenance of the shared facility including landscaping.
- (3) The storage area shall be located outside of required street setback areas and shall be located behind or to the side of the residential structure(s).
- (4) The storage area shall be either
  - a. Entirely within an enclosed building; or
  - b. 100% screened from view of the surrounding properties with a sight obscuring fence and landscaping per 10.62 WCC. Landscape buffer shall be at least 10 feet wide.
- (5) Storage structures not attached to dwelling units shall be exempt from residential accessory structure standards and setback reductions and shall meet the following standards:
  - a. Any structure(s), or portions of structures, used for storage shall comply with Section E.6 of the Residential Design Guidelines even if that section does not apply to the residential development type the storage area is associated with.

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Proposed amendments to Wenatchee City Code Titles 10 and the Official Zoning Map for the public hearing with Planning Commission on November 18, 2020.




b. Floor area shall not exceed 5,000 square feet per structure.

c. Building height shall not exceed 25 feet

(+)(6) Total storage area may not exceed an average of 250 square feet per dwelling unit, not including any necessary circulation, drive aisles, or hallways.

**10.50.060 Sign illumination.**

(3) Permitted Sign Illumination Types. Table 10.50.060 below specifies permitted sign illumination types by zone and other requirements.

Table 10.50.060 Permitted signs illumination types.			
Illumination Type and Description	Example	Permitted zones and overlays	Other requirements
<p><b>Channel letter.</b> Light source is internal and light is emitted through the front or face of the letters.</p>		<p>All nonresidential zones except HEO and CD</p>	<p>May be incorporated into a permitted wall, pole, or monument sign</p>
<p><b>Reverse channel letter.</b> Letter faces are opaque and light source provides halo effect through backlighting.</p>		<p>All zones</p>	<p>May be incorporated into a permitted wall, projecting, pole, or monument sign</p>
<p><b>Push-through.</b> Letters are cut out of an opaque sign face. Interior light shines through</p>		<p>All zones</p>	<p>May be incorporated into a permitted wall, projecting, pole, or monument sign</p>






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Proposed amendments to Wenatchee City Code Titles 10 and the Official Zoning Map for the public hearing with Planning Commission on November 18, 2020.

**Table 10.50.060**

**Permitted signs illumination types.**



Illumination Type and Description	Example	Permitted zones and overlays	Other requirements
letter faces only. May include a halo effect.			
<b>Neon.</b>		All nonresidential zones <u>except CD</u>	May be incorporated into a permitted wall, projecting, window, pole, or monument sign
<b>Internally illuminated cabinet signs.</b> Sign face is illuminated through translucent casing. This includes internally illuminated changeable copy signs.		All commercial and overlay zones except HEO, <u>and CD</u>	May be incorporated into a permitted wall, pole, pylon, or monument sign
<b>Digital message signs.</b>		CBD, NWBD, SWBD, CN, I, CSO, IO, PO, RRO, WMU, OMU, <u>CD</u> (not allowed in any residential zone except for permitted nonresidential uses)	Only allowed to be integrated on permitted monument, and pole signs per WCC <u>10.50.110</u>

**Exhibit A:**

Proposed amendments to Wenatchee City Code Titles 10 and the Official Zoning Map for the public hearing with Planning Commission on November 18, 2020.

**Table 10.50.060**

**Permitted signs illumination types.**

Illumination Type and Description	Example	Permitted zones and overlays	Other requirements
<p><b>Internally illuminated awning signs.</b> The awning face is illuminated through the awning material.</p>		<p>Not allowed in any zone</p>	
<p><b>Externally illuminated sign.</b></p>		<p>All zones</p>	<p>Illumination techniques shall focus the light on the sign and avoid glare to the sky, streets, sidewalks, and other public spaces, and adjacent uses.</p>

(Ord. 2019-50 § 2 (Exh. A))

**10.50.070 Signs types permitted by zone.**

(1) Nonresidential. In nonresidential zones, all sign types are permitted unless otherwise noted in

WCC [10.50.080](#).

**Exhibit A:**

Proposed amendments to Wenatchee City Code Titles 10 and the Official Zoning Map for the public hearing with Planning Commission on November 18, 2020.

**Table 10.50.070(1)**

**Signs permitted in nonresidential zones.**

Sign Type	Commercial Zones						Mixed-Use Zones			Overlay Zones					
	CBD	NWBD	SWBD	CN	<u>CD</u>	I	WMU	OMU	RMU	HEO	CSO	MRC	IO	PO	RRO
<b>Freestanding Signs</b> Refer to WCC <a href="#">10.50.080</a> and <a href="#">10.50.090</a> for freestanding sign design standards.															
Pole sign		P <sup>1</sup>				P <sup>1</sup>									
Monument sign	P	P	P	P	<u>P</u>	P	P	P	P	P	P	P	P	P	P
Pylon sign	P	P	P	P	<u>P</u>	P	P	P	P	P	P	P	P	P	P
Post and arm sign	P	P	P	P	<u>P</u>	P	P	P	P	P	P	P	P	P	P
Internal wayfinding sign	P	P	P	P	<u>P</u>	P	P	P	P	P	P	P	P	P	P
<b>Building-Mounted Signs</b> Refer to WCC <a href="#">10.50.080</a> and <a href="#">10.50.100</a> for building-mounted sign design standards.															
Wall sign	P	P	P	P	<u>P</u>	P	P	P	P	P	P	P	P	P	P
Projecting sign	P	P	P	P	<u>P</u>	P	P	P	P	P	P	P	P	P	P
Awning sign	P	P	P	P	<u>P</u>	P	P	P	P	P	P	P	P	P	P
Under-canopy sign	P	P	P	P	<u>P</u>	P	P	P	P	P	P	P	P	P	P

NOTES:

<sup>1</sup> Pole signs are only permitted on properties adjacent to highways north of the Wenatchee River. See Table 10.50.080(1) for additional location standards.

**10.50.090 Supplemental freestanding sign design standards.**

(4) Building Name Signs.

## Exhibit A:

Proposed amendments to Wenatchee City Code Titles 10 and the Official Zoning Map for the public hearing with Planning Commission on November 18, 2020.

Signs located in the College District, that advertise the name of the building and not associated with the name of any individual business are exempt from the standards in WCC10.50.080(1) and WCC10.50.090(1) and (2) provided they meet the standards below. Signs that include more information than the building name shall not be considered building name signs.

- (i) Maximum quantity: One sign per building entrance
- (ii) Maximum sign area: 15 square feet
- (iii) Maximum height above existing grade: 4 feet
- (iv) Located within 20 ft of a pedestrian path or area
- (v) Located within 100 ft of the building the sign is advertising
- (vi) At least 100 feet from the nearest freestanding building name sign
- (+)(vii) Digital message signs are not allowed as building name signs
- (viii) 5' minimum setback to property lines, rights-of-way, or private drives from the closest element of the sign structure

### 10.50.160 Temporary sign standards.

(7) Temporary Sign Requirements by Sign Type. Below are standards for a wide variety of temporary sign types that may be allowed based on the site's zoning, land use, or context. Adjusted standards for certain activities and events are in subsection (8) of this section.

#### (e) Type 5 – Feather Signs.

- (i) Location. May only be displayed on properties in a commercial or mixed-use zone.
- (ii) Quantity. One sign may be displayed per site/property. For site/properties with more than 100 feet of ~~block-street~~ frontage, multiple signs are allowed provided there's at least 100 feet of separation between signs.
- (iii) Size. Maximum height is 13 feet.

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(iv) Design. Signs shall be designed in a uniform manner, including consistent size and shape, where more than one sign is permitted.

(v) Duration. ~~Signs may be displayed without limit to duration.~~ 90 days per individual sign per calendar year.

### 10.60 Off-Street Parking

#### **10.60.030 General requirements.**

(7) Except where otherwise provided by this title, off-street parking for new construction, including additions, must be within fully enclosed structures or located behind or to the side of buildings.<sup>5</sup>

~~Exceptions to this standard may be granted by the director, if site infeasibility can be demonstrated, except for sSingle-family residences and duplexes which shall be behind the street setback shall comply with WCC10.48.120. Exceptions to this standard may be granted by the director, if site infeasibility can be demonstrated.~~

~~(9) Tandem parking space arrangements are allowed for residential developments when the following requirements are met:~~

~~(a) Both spaces are assigned to the same housing unit and are no more than two spaces in depth.~~

~~(b) Off-street parking shall be designed in a way that a parking space for one unit does not block access for another unit. The layout shall otherwise comply with this section.~~

#### **10.60.060 Parking reduction incentives – Public parking lots.**

A 20 percent reduction of the required parking set forth in WCC 10.60.080 will be granted when a development meets all of the following requirements:

(1) The project is located within a 700-foot radius of a public parking lot that is open to the public and is not dedicated to a particular building(s), use, or restricted to the patronage of a specific business(es). The applicant must provide written approval from the owner of the public lot confirming that the parking lot is open to the public and authorizes the perpetual use of the lot.

(2) The following minimum safety requirements are met:

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(a) There are sidewalks and paved pedestrian paths, including alleys, between the public parking lot and the land use using such parking facility.

(b) There is adequate street and parking lot lighting to provide safe walking to the off-site facility.

(3) The reduction is not used to reduce off-street parking requirements below 1 parking space per housing unit. (Ord. 2010-03 § 1 (Exh. A); Ord. 2007-34 § 2 (Exh. A))

### **10.60.070 Parking reduction incentives – Transit.**

A 20 percent reduction of the required parking set forth in WCC 10.60.080 will be granted when a development meets all of the following requirements:

(6) The reduction is not used to reduce off-street parking requirements below 1 parking space per housing unit. (Ord. 2010-03 § 1 (Exh. A); Ord. 2007-34 § 2 (Exh. A))

### **10.60.075 Alternative parking analysis/transportation demand management (TDM).**

The alternative parking analysis/transportation demand management provisions as detailed in this section are applicable to all zoning districts within the city of Wenatchee.

(5) Reductions of minimum off-street parking requirements granted under this section, shall not be combined with any other reduction incentive in this Chapter.

## 10.62 Landscaping Standards

### **10.62.070 Commercial and industrial zones.**

(3) Perimeter Landscape Buffer.

(e) The perimeter landscape buffer area shall generally consist of a mix of evergreen plantings, deciduous trees, shrubs, ground cover, and/or fencing, as follows:

(ii) Trees shall be planted at intervals no greater than 30 feet on center, unless ~~plantings they~~ are clustered into groups. If trees are clustered into groups, then the planting intervals shall be ~~planted at intervals~~ no greater than 90 feet in any one place and the total quantity of trees shall, but in no event not be less in quantity than one per 30 feet of perimeter buffer area;

### **10.62.100 Residential zones and WMU recreational/residential overlay.**



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### (3) Perimeter Landscape Screening.

(d) The perimeter screening shall generally consist of a mix of evergreen plantings, deciduous trees, shrubs, ground cover and may include fencing. Development of single-family homes may construct a fence in lieu of perimeter landscaping.

(iv) ~~Except as provided in subsection (3)(d) of this section, f~~Fencing cannot be substituted for, but may be used in conjunction with, approved landscaping materials to meet perimeter landscaping screening requirements. Fencing may be used as the only material when screening waste dumpsters and outdoor storage areas that do not encroach on the perimeter or other landscape buffer areas.

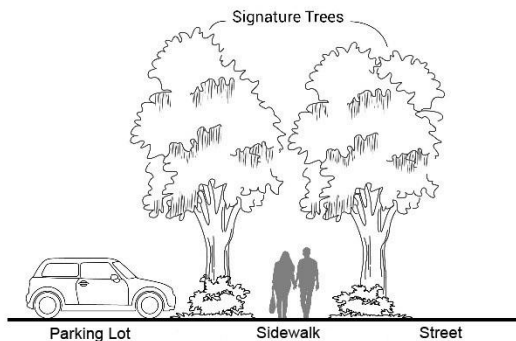
### 10.62.120 College District Zone. [new section]

- 1) **Intent.** The intent of landscaping within the College District (CD) zone is to enhance the safety, security, environment and aesthetic quality of the visible edge of the applicable college or institution, to provide a graceful transition between the campus and the adjacent neighborhoods, and to enhance the pedestrian experience around the campus.
- 2) **Street Frontage Landscaping.** Development of a new building, or redevelopment which requires landscaping under WCC 10.62.020(1)(g), that ~~does not have an existing structure(s)is~~ located ~~for a majority, 51%, between the development and~~ within 200 feet of the right-of-way, shall be required to install landscaping which includes ground cover and/or shrubs between the right-of-way and the structure outside of pedestrian walkways, plazas and other pavements for pedestrian use. Trees shall be installed at least 1 tree for every 40 feet of development frontage measured along the property or street right-of-way located within 10 feet of the sidewalk, but no closer than 3' to the sidewalk. The placement of these trees are intended to work in tandem with street trees planted in the planter strip. Tree spacing shall mimic the spacing, density and tree species of the trees planted in the planter strip, which may exceed the spacing requirement listed above. Where street trees and streetfront landscaping have not been installed, the Public Works Department shall approve of the tree species placed in the planter strip and the tree spacing, and tree species shall be duplicated for the streetfront landscaping. The landscaping must be consistent with WCC 10.36.050(6) Site planning for security. The intended effect of the street trees is the establishment of a tree lined pedestrian corridor, as an interface between the college campus and surrounding residential neighborhoods.
- 3) **Perimeter Landscape Screening.**
  - a) Landscape screening shall be required along those perimeter property lines, abutting or facing a residential zoning district, except along street frontages as required above. Consideration to terrain (slope) shall be given when applying these requirements and developing landscape plans.
  - b) Perimeter landscape screening, when required, shall be at least six feet in width.
  - c) The perimeter landscape screening shall provide 100 percent sight obstruction of outdoor storage areas and waste dumpsters, and 80 percent sight obstruction of parking lots, when viewed from an abutting or facing residential zoning district. Exceptions to the 80 percent sight obstruction of parking lots requirement may be granted if necessary to comply with 10.36.050(6).
  - d) The perimeter landscape screening shall generally consist of a mix of evergreen plantings, deciduous trees, shrubs, ground cover, and/or fencing.

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Proposed amendments to Wenatchee City Code Titles 10 and the Official Zoning Map for the public hearing with Planning Commission on November 18, 2020.

- i) No more than 60 percent of the trees shall be deciduous;
  - ii) Trees shall be planted at intervals no greater than 30 feet on center, unless plantings are clustered into groups. Then the planting intervals shall be no greater than 90 feet, but in no event less than one tree per 30 feet;
  - iii) Consideration to terrain (slope) shall be given when applying these requirements and developing landscape plans;
  - iv) Fencing cannot be substituted for, but may be used in conjunction with, approved landscaping materials to meet perimeter landscaping screening requirements. Fencing may be used as the only material when screening waste dumpsters and outdoor storage areas that do not encroach on the perimeter or other landscape buffer areas.
- 4) **Parking Lot Landscaping.** Landscaping within surface parking lots shall be as set forth in WCC 10.62.140 with the additional requirement for sections of parking lots facing and visible from a public street. The street facing perimeter of the parking lot shall include the following:
- a) A continuous six-foot-wide (average) area of landscaping along the street right-of-way shall be required. The length of landscaping shall be the entire frontage of the improvements made to the campus, except driveway entrances and building entrances.
  - b) The landscaping area shall consist, trees, ground cover, and shrubs as follows:
    - (i) Trees spaced no more than 40 feet on center, (average). Species shall be as approved by the City. Trees shall not be located closer than three feet to the curb of the public right-of-way or parking lot.
    - (ii) Shrubs not exceeding a height of four feet spaced an average of at least one for each 50 square feet of required planting area.
    - (iii) In no case shall sight-obscuring landscaping (greater than 36 inches in height, except trees limbed up to five feet in height) be located within 15 feet of a noncontrolled intersection (a nonlighted intersection or lighted intersection not controlling traffic in all directions).



Campus Edge with Parking Lot

Figure 10.62.120(4). Campus edge with parking lot screening

- 5) **Street Landscaping.** New developments within the CD zone shall include installation of street trees in accordance with city standards or public works preapproved plans as administered by the city engineer. The city engineer may waive this requirement where such plantings are inappropriate, such as if the sidewalk is too narrow for street trees. If street trees are not required, the building shall be set back from the sidewalk to allow for landscaping per subsection (2) of this section.
- 6) **Façade buffer planting**

## Exhibit A:

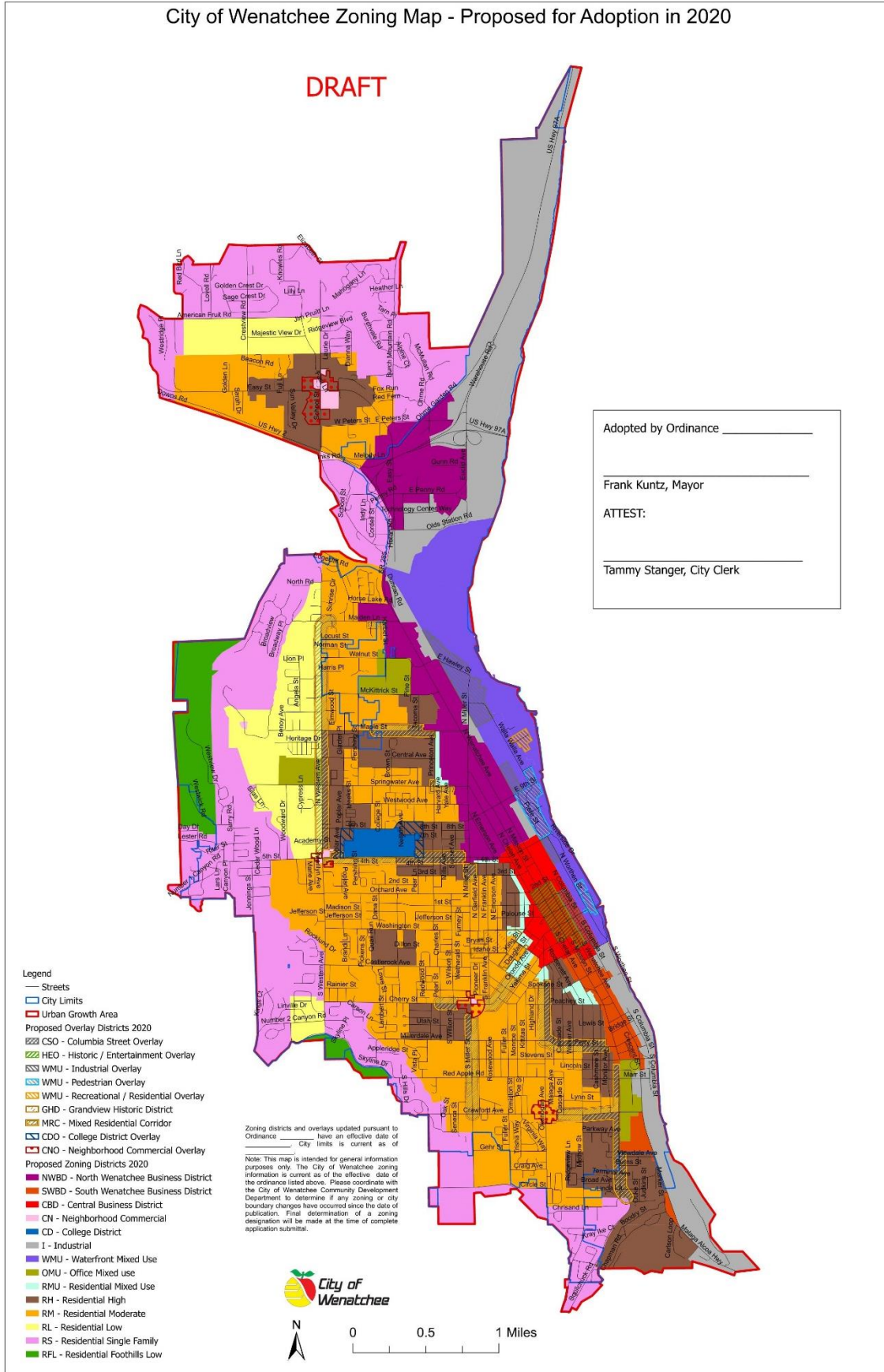
Proposed amendments to Wenatchee City Code Titles 10 and the Official Zoning Map for the public hearing with Planning Commission on November 18, 2020.

- (a) Landscaping along the perimeter of buildings facing the public right-of-way, except alleys, shall be required for any building setback more than 45 feet from the front property line, to create a softening effect by reducing the amount of visual straight line architecture. Landscaping within 15 feet of the building foundation, including any landscaping required elsewhere by this chapter, shall satisfy this requirement.
- (b) The facade buffer planting area shall be at least four feet in width (average) and shall occupy at least 50 percent of the perimeter of the building facade facing the public right-of-way.
- (c) The plantings shall include:
  - (i) Shrubs not exceeding a height of four feet spaced no less frequently than an average of at least one for each 50 square feet of required planting area.
  - (ii) Ground cover pursuant to the general landscape material requirements set forth in WCC [10.62.060\(4\)](#).
- (d) Any building facade with a wall surface greater than 2,000 square feet shall include a facade buffer planting meeting the following standards:
  - (i) A planting area at least six feet in width (average) and shall occupy at least 50 percent of the perimeter of each building facade facing the public right-of-way.
  - (ii) Trees planted at an interval averaging 25 feet, except for buildings set back less than 45 feet from the front property line.
  - (iii) Ground cover and shrubs pursuant to subsection (6)(c) of this section.

# Exhibit A:

Proposed amendments to Wenatchee City Code Titles 10 and the Official Zoning Map for the public hearing with Planning Commission on November 18, 2020.

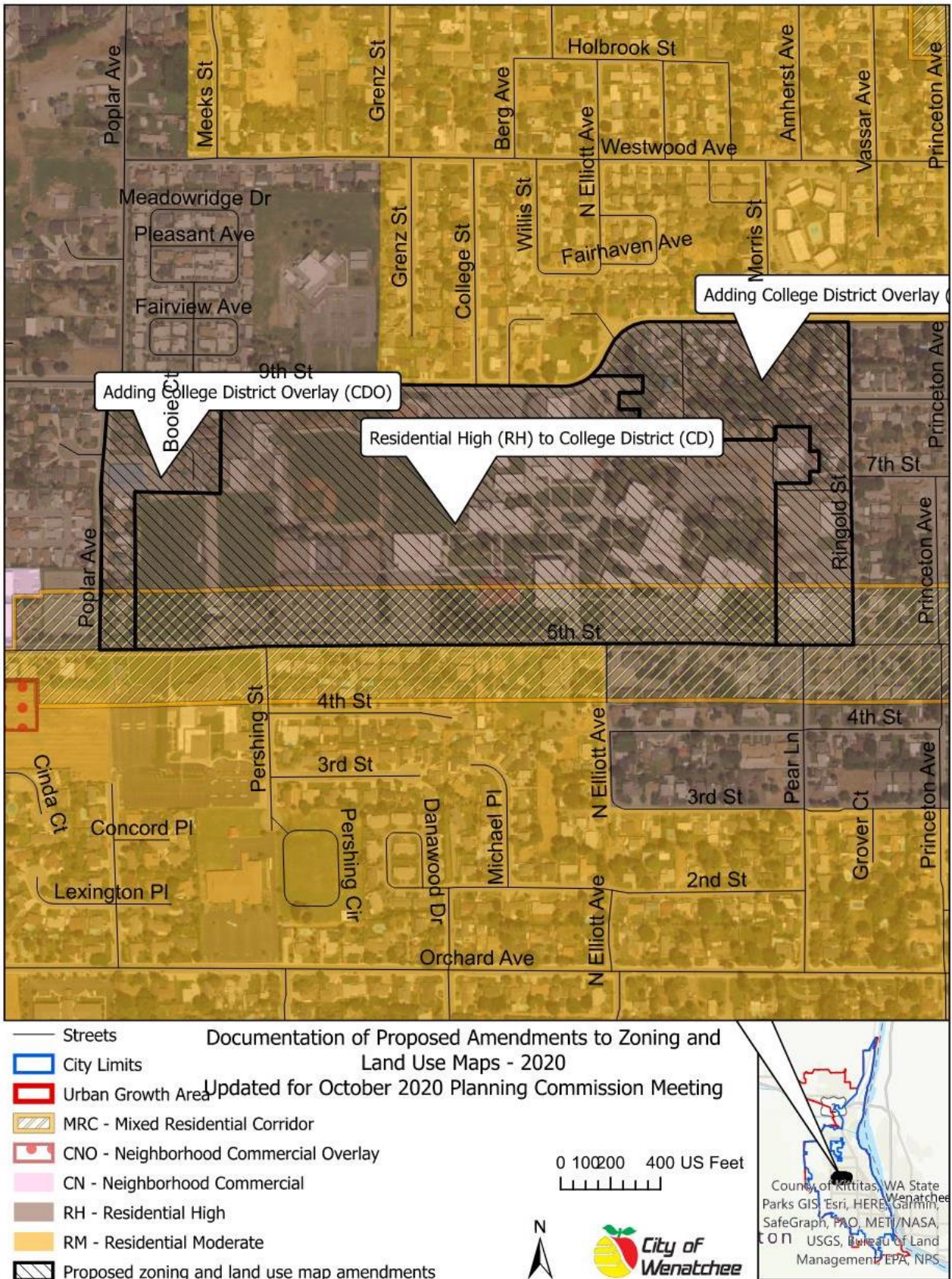
City of Wenatchee Zoning Map - Proposed for Adoption in 2020





## Exhibit A:

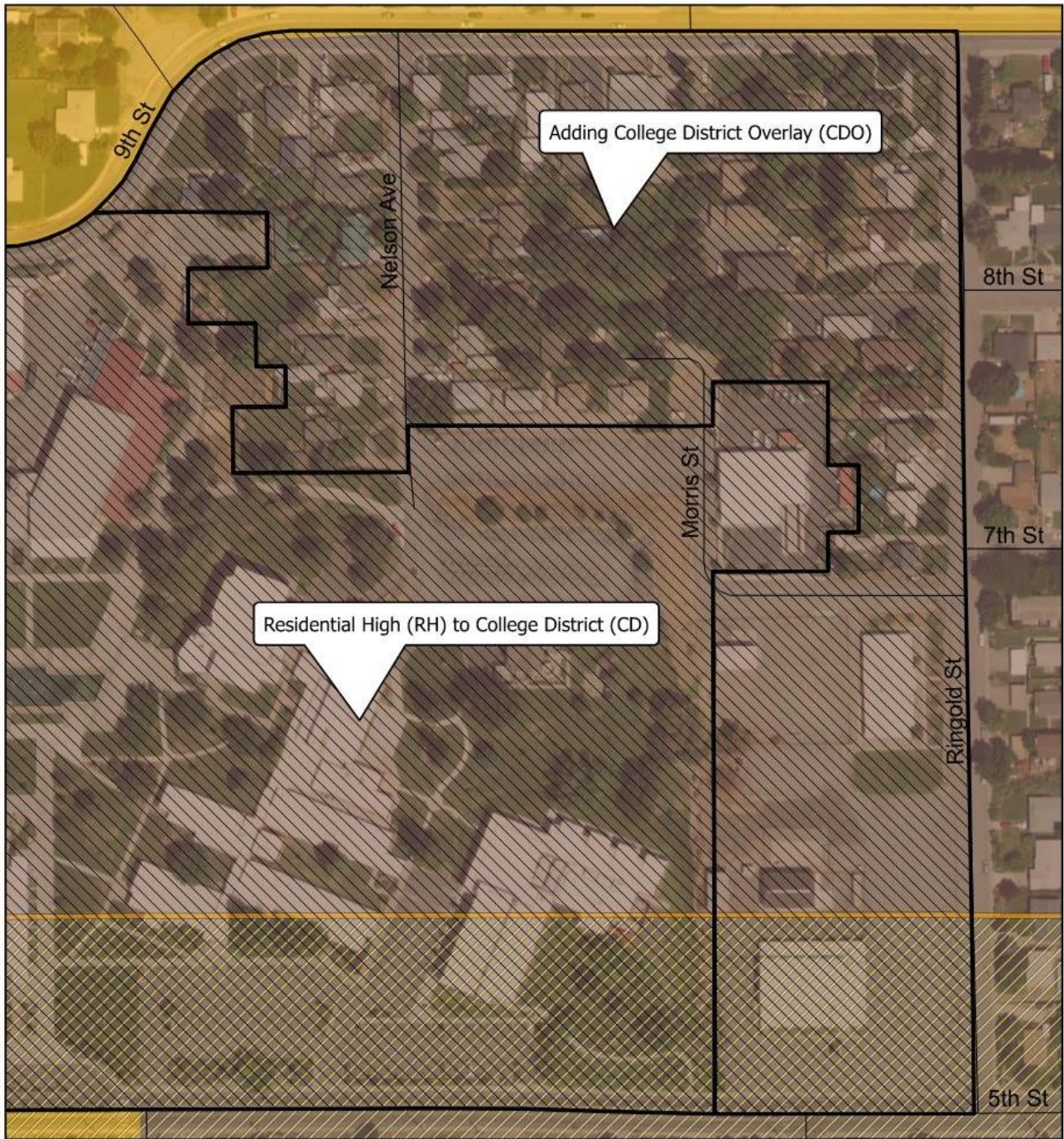
Proposed amendments to Wenatchee City Code Titles 10 and the Official Zoning Map for the public hearing with Planning Commission on November 18, 2020.





### Exhibit A:

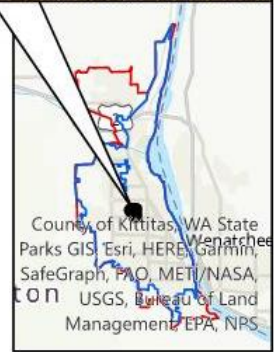
Proposed amendments to Wenatchee City Code Titles 10 and the Official Zoning Map for the public hearing with Planning Commission on November 18, 2020.



Documentation of Proposed Amendments to Zoning and Land Use Maps - 2020  
Updated for October 2020 Planning Commission Meeting

- Streets
- City Limits
- Urban Growth Area
- MRC - Mixed Residential Corridor
- RH - Residential High
- RM - Residential Moderate
- Proposed zoning and land use map amendments

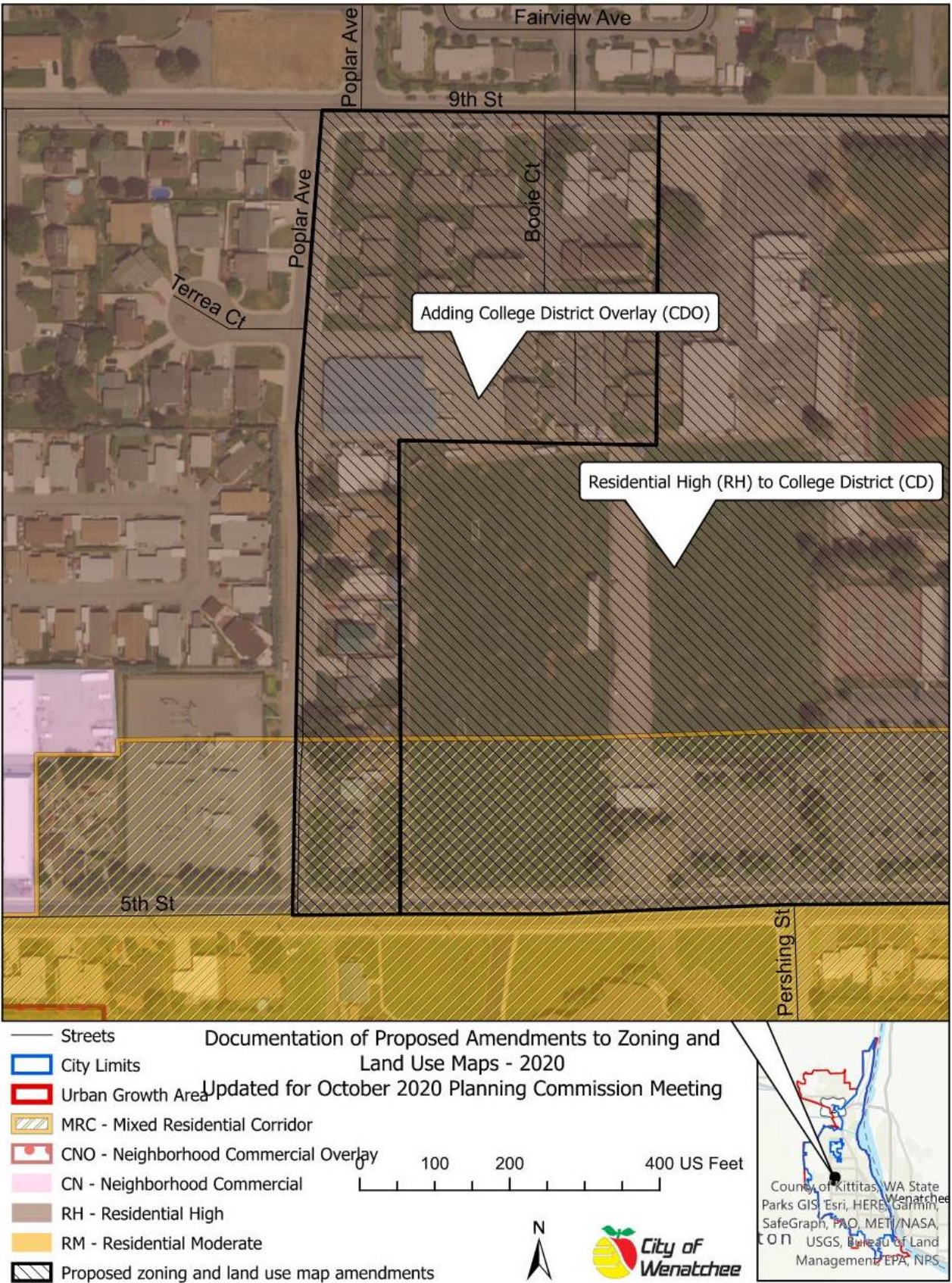
0 100 200 400 US Feet





### Exhibit A:

Proposed amendments to Wenatchee City Code Titles 10 and the Official Zoning Map for the public hearing with Planning Commission on November 18, 2020.



## Exhibit B:

Proposed amendments to Wenatchee City Code Titles 11 for the public hearing with Planning Commission on November 18, 2020.

### Title 11

#### [Chapter 11.20 SUBDIVISION DESIGN STANDARDS](#)

#### **11.20.050 Lot design.**

(1) Access. Every lot shall be provided with satisfactory access by a public street connecting to an existing public street, except as provided in WCC [11.16.190](#) and [11.20.020\(110\)](#) through (132).

~~(7) Lot Line Angles. Side lot lines shall be straight lines running within 20 degrees of perpendicular to the road upon which the lots front. Side lot lines on curved roads should run at or near radially to the curve.~~

~~(1) The shape of lots shall be generally rectangular in shape and minimize the number of angles.~~

~~(2) Side lot lines shall be straight lines running within 20 degrees of perpendicular to the road upon which the lots front for a minimum distance equal to half the required lot depth.- Side lot lines on curved roads should run at or near radially to the curve.~~

~~(3) Flag lots shall be avoided whenever possible, except on the outside radius of a curved street, where side lot lines should run at or near radially to the curve not to exceed half the minimum lot depth.~~

~~(4) For the purpose of promoting good lot design which facilitates site planning for home placement, open space, infrastructure, or addressing existing site constraints, the Director may grant limited exceptions to these rules.~~

## Exhibit C:

Proposed amendments to Wenatchee City Code Titles 13 for the public hearing with Planning Commission on November 18, 2020.

### Title 13

#### [Chapter 13.09 REVIEW AND APPROVAL PROCESS](#)

#### **13.09.030 Type I administrative review of applications.**

Type I administrative review shall be used when the proposed development is subject to clear, objective and nondiscretionary standards that require the exercise of professional judgment about technical issues and the proposed development is categorically exempt from the State Environmental Policy Act (SEPA). Permits reviewed through this process are not subject to the requirements of Chapter [13.07](#) WCC. The city may approve, approve with conditions, or deny the application. The decision of the city is final unless an administrative appeal process is provided for in this or any other title within the WCC. This type of review includes, but is not limited to, the following:

- (2) ~~Single-family and other minor b~~Building permits not subject to environmental review;
- (3) ~~Fence permits;Administrative land use permits or approvals not subject to environmental review and not otherwise identified as a Type II review. Including, but not limited to, parking lots, landscape review, mobile vendors, and home occupations.~~
- (5) ~~Fill and grade permits;Sign permits~~



**Exhibit D:**

Proposed amendments to Wenatchee Residential Design Guidelines for the public hearing with Planning Commission on November 18, 2020.

Wenatchee Residential Design Guidelines

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**A.3. Applicability**

The provisions of these guidelines apply to:

**A.3.1.** Development of new housing types as specified in the table below.

*Table A.3.1. Applicability of housing types to these guidelines.*

## Exhibit D:

Proposed amendments to Wenatchee Residential Design Guidelines for the public hearing with Planning Commission on November 18, 2020.

Residential Type	Applicable
Accessory dwelling units, detached accessory dwelling units	No
Single family dwellings	No
Single family cluster	When referenced in Title 10
Single family courtyard	No
Cottage housing	When referenced in Title 10
Duplex	When referenced in Title 10
Patio homes	When referenced in Title 10
Courtyard housing	Yes
Townhouses	Yes
Multifamily dwellings	Yes
Live-work dwellings	Yes
Mixed-use building with at least one residential unit	Yes
Manufactured home communities	<u>When referenced in Title 10</u> Yes
Single purpose commercial buildings	No

**A.3.2.** Building additions to applicable housing types/elements as specified above.

**A.3.3.** Exterior modifications (such as façade changes, windows, awnings, signage, etc.) to applicable housing types/elements as specified in the table above.

**A.3.4.** If there is a discrepancy in these guidelines between the text and figures or charts, the text shall apply.

**A.3.5** The conversion of an existing structure to an applicable housing type as specified above.

**A.3.6** Storage areas and structures associated with residential developments when referenced in Title 10.

## B. Introduction

### **B.1. Residential development types**

As noted in A.1 Purpose, one of the Director’s objectives in establishing these guidelines is to encourage the development of a wider spectrum of housing types that in turn offers households more choices in meeting their housing needs, provides housing at different affordability levels, and gives residential developers greater flexibility in taking advantage of different site conditions and market opportunities. At the same time, it is critical that new development fit with its neighborhood context and does not negatively impact its neighbors. To accomplish this, these guidelines and Wenatchee City

## Exhibit D:

Proposed amendments to Wenatchee Residential Design Guidelines for the public hearing with Planning Commission on November 18, 2020.

Code Title 10 (Zoning) include provisions to address development issues specific to each individual housing type.

Chapter 10.08 WCC defines these housing types with respect to specific criteria. These definitions will be used in project review. Chapter 10.10 WCC identifies which housing types are allowed in each ~~of the Director's land-use-zoning districts~~ and overlay districts. Chapter 10.46 describes the dimensional requirements for development envelopes for each zone, specifying, for example building setbacks, lot coverages and height limits. Chapter 10.47 describes the dimensional requirements for each housing type in each zone and overlay district.

The following sections in B.1 describe the design characteristics, advantages and considerations typical of each type. The contents of section B.1 are for information purposes and are not requirements.

Section B.2 identifies the character areas within the City for the purposes of integrating new development into existing neighborhoods.



## Exhibit D:

Proposed amendments to Wenatchee Residential Design Guidelines for the public hearing with Planning Commission on November 18, 2020.

### B.1.2. Single Family – Courtyard [all new content replacing existing content in B.1.2]

**Description:** Two to six single family residences with access from a shared private lane.

Design Characteristics:

- 1) Single family residences with vehicle and pedestrian access from a shared private lane.
- 2) The single-family residential lots include yards and entries oriented to the shared private lane rather than the public street.

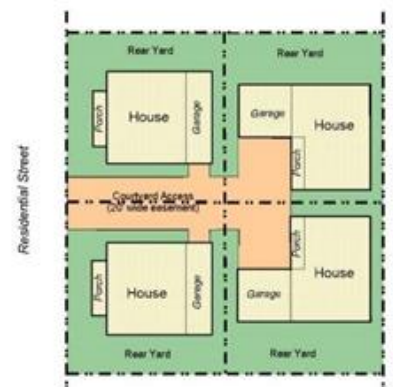
Advantages:

- (a) Allows for more efficient development of larger or unusually configured lots.
- (b) In some cases, it may reduce pavement area and facilitate accommodation of parking spaces.
- (c) Allows fewer curb cuts.
- (d) In some cases, better plat design than skinny lots.
- (e) This configuration could be combined with single family-cluster development (i.e. the lot and building could be smaller if allowed by code.

Design Considerations:

- Ensure that the street facing facades of the residences and site improvements provide a pleasant streetscape.
- Ensure accessible and pleasant pedestrian circulation.
- Orient residential entries to be welcoming.
- Minimize the negative impacts of vehicle access and parking.
- Requires access easements and maintenance agreements.

*Reference: See also WCC 10.47.070.*



## Exhibit D:

Proposed amendments to Wenatchee Residential Design Guidelines for the public hearing with Planning Commission on November 18, 2020.

### B.3. Grandview Historic District

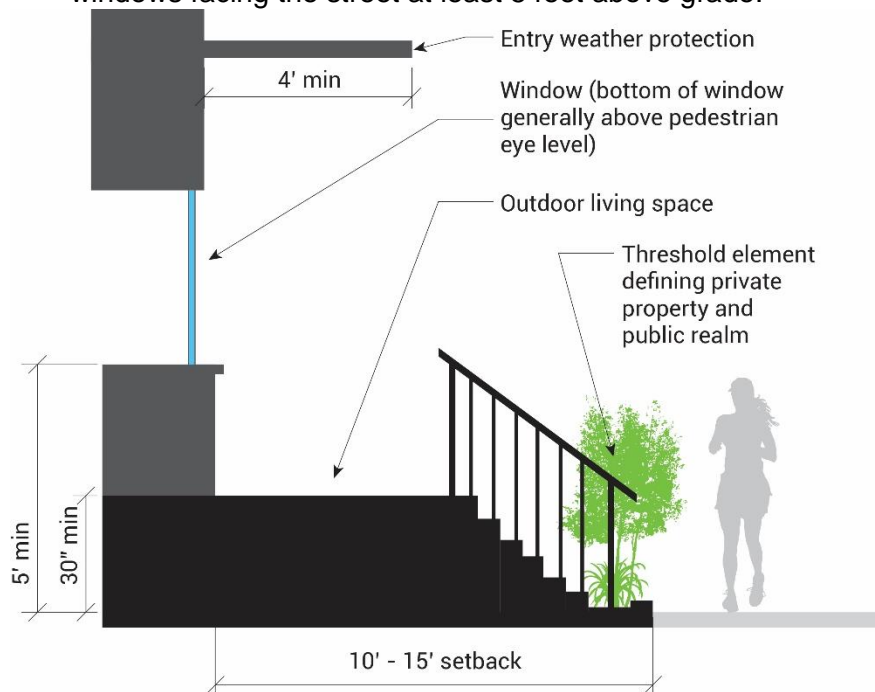
The guidelines related to design character in ~~WCC Sections D.1.4, E.2.14~~ and E.6.2 do not apply to properties in the Grandview Historic District. Projects in the historic district shall be reviewed in accordance with WCC 10.40.060.

## C. Site Planning

### C.1. Relationship to street fronts and common pathways

#### C.1.1. Ground-related units facing streets

- d. **Set back or elevate units for privacy.** Setbacks of less than 15 feet (where allowed by WCC Chapter 10.46) warrant pro-active design treatments to create an attractive and effective transition between the public and private realms.
  - i. If the front façade is 10-15 feet from the public street right-of-way, elevate the ground floor unit at least 30 inches above grade and elevate the bottom of ground floor windows facing the street at least 5 feet above grade.



*Figure C.1.d.i. The above provisions apply to ground-level residential frontages with 10 to 15-foot setbacks. The below provisions apply to ground-level residential frontages with setbacks less than 10 feet.*

- ii. If the front façade is 5-10 feet from the public street right-of-way, elevate the ground floor unit at least 3 feet above grade and elevate the bottom of ground floor windows

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Proposed amendments to Wenatchee Residential Design Guidelines for the public hearing with Planning Commission on November 18, 2020.

facing the street at least 6 feet above grade.

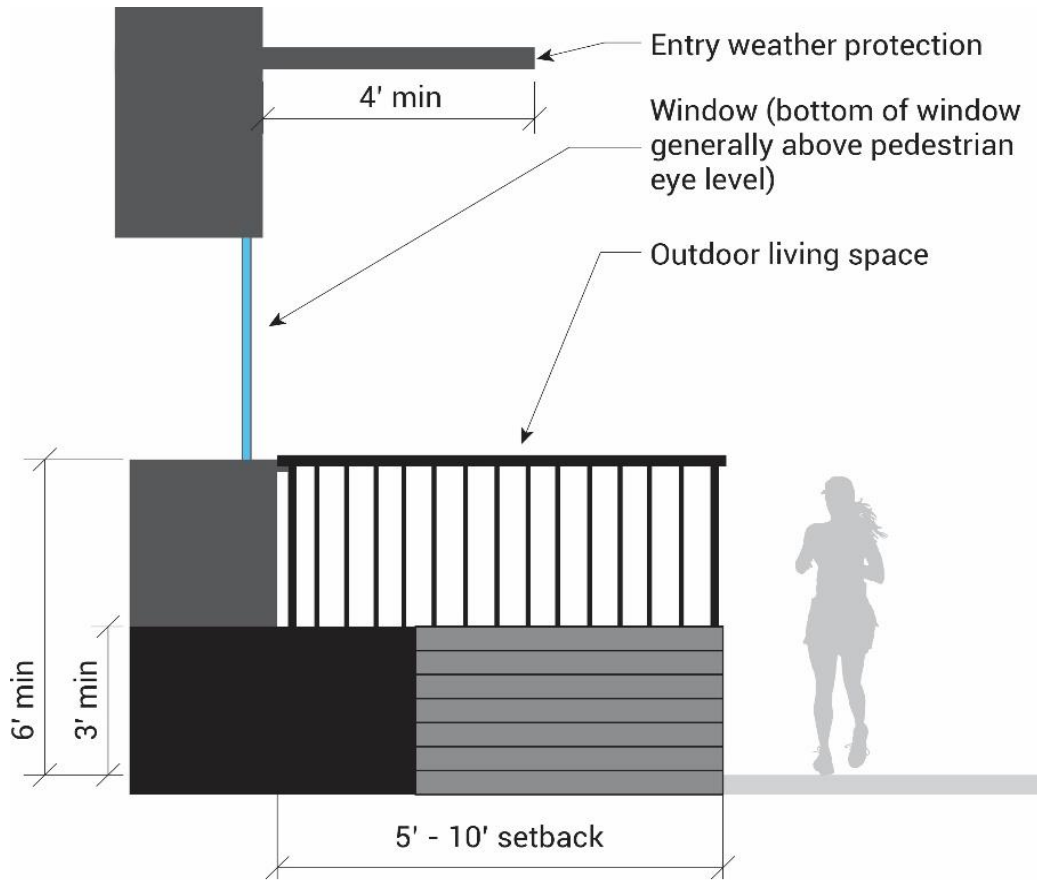


Figure C.1.d.ii. Dimensional relationships to maintain privacy and provide a successful transition between public and private realms when setbacks are reduced below 10 and 15 feet.

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Figure C.1.c. The above images show ground-level residential frontages with setbacks of approximately 10 feet (left image) and 5 feet (right image) along different street frontages for this corner apartment building. These ground level units all have their own private unit access from the sidewalk and are elevated above the sidewalk to enhance the privacy to the units. The landscaping elements, brick posts, split-faced concrete block stoop walls, and black metal railings help to provide an attractive and effective transition between the public and private realm within the adjacent dwelling units.

### C.1.2. Street fronts on pedestrian-oriented streets

- f. **Vehicle parking.** Surface vehicle parking directly fronting, and ground floor structured parking directly adjacent to a designated pedestrian-oriented street is prohibited. The Director may allow upper story parking facing the street if the façade is suitably treated to appear as an occupied building or incorporates articulation treatments that break up the massing of the garage and add visual interest as described in Section E.7.1. The Director may also allow structured parking to face a designated pedestrian-oriented street if the subject property faces two or more designated pedestrian-oriented streets and the parking is treated per [Guidelines Section E.8](#).

### C.1.3. Location and configuration of parking facilities facing a street front

- a. **Applicability.** This guideline applies to all parking lots serving more than two residential units. This guideline does not apply to parking lots that only face an alley or private roadway. [If an exception is granted in WCC10.60.030 it is also granted here.](#)

## C.3. ~~Multifamily Residential~~ open space

### C.3.2. Requirements for different types of required residential open space

## Exhibit D:

Proposed amendments to Wenatchee Residential Design Guidelines for the public hearing with Planning Commission on November 18, 2020.

- b. **Requirements for common open space.** To qualify as common open space for the purpose of meeting open space standards for applicable housing types described in WCC Chapter 10.47 such open space shall:
  - v. Not be located within: the required street setback, any required landscaped areas, nor areas devoted to parking or vehicular/pedestrian access (including sidewalks required for meeting the pedestrian circulation requirements). Exception: Common open space may include areas within a setback if that open space meets all the other requirements of ~~this Guideline, Section~~ C.3.2.
  - viii. Common open space shall be separated from ground level windows, streets, service areas and parking lots with landscaping, low-level fencing, or other treatments as approved by the Director that enhance safety and privacy for both the common open space and dwelling units. See also requirements for ground related units in Section C.1.1.

## C.4. Vehicle access and parking

### GUIDELINES

#### C.4.1. Vehicular access - general

- d. ~~Garages within the RS, RL and RM zones;~~ Ggarages facing a public street (not an alley) must be set back in accordance with WCC Chapter 10.46. See also Section E.7 for garage and parking facility design requirements.
- e. Parking and Landscaping. The location and configuration of parking facilities and associated landscaping shall be as approved by the Director and meet the requirements of WCC 10.48.130 (clear view triangle).

#### C.4.3. Vehicular access for residences with driveways and parking facilities serving multiple residences (e.g.: parking lots for multifamily structures, courtyard complexes, etc.)

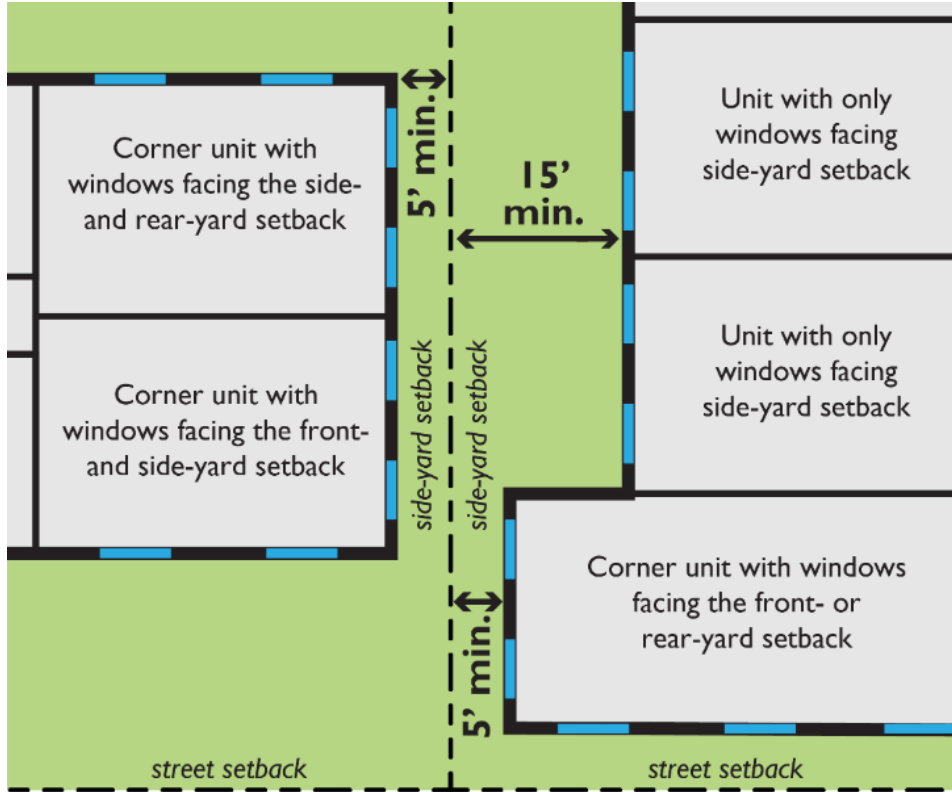
- b. **Driveway width.** Driveways serving multiple residences shall meet WCC 3.16. Fire Code, including Aappendix D, Fire Apparatus and Aaccess Roads, and shall not be less than 20 feet wide and not more than 24 feet wide.

~~C.6.2. Light and air access and privacy near interior side and rear property lines  
Buildings or portions thereof containing multifamily dwelling units whose only solar access (windows) is from the applicable side or rear of the building (facing towards the side or rear property line) must be set back from the applicable side or rear property lines at least 15 feet. See Figure C.6.2.~~



## Exhibit D:

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*Figure C.6.2. Light/air access and privacy standards for multifamily residential buildings along side and rear property lines. Note that the minimum setbacks noted above only apply to buildings (and portions thereof) featuring the stated characteristics.*

## C.7. Service areas and mechanical equipment

### GUIDELINES

#### C.7.1. Location of ground related service areas and mechanical equipment

- a. **Applicability.** This guideline applies to housing types applicable to these guidelines and as set forth in WCC Chapter 10.47 when the site includes collective or joint use ground related service areas or mechanical equipment such as loading docks, trash dumpsters, storage areas, compactors, recycling areas, electrical panels, and mechanical equipment.
- c. **Visibility of service areas.** Service areas must not be visible from the sidewalk and adjacent properties. Where the Director finds that the only option for locating a service area is an area visible from a street, internal pathway or pedestrian area, or from an adjacent property, the area must be screened with structural and or landscaping screening measures provided in Subsection C.7.2 below and Chapter 10.62 WCC Landscaping.
- ~~f. **Waste storage and removal (dumpster) storage areas.**~~
  - ~~i. **Waste storage and removal areas must be provided for all mixed-use and multifamily development.**~~
  - ~~ii. **Dumpster storage areas must be on-site and must not be located in the public right-of-way.**~~



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- iii. ~~Dumpster storage areas for garbage, recycling, and composting must be sized and located to meet the requirements of solid waste collection and practices and are subject to the approval by the Wenatchee Public Works Department.~~

### C.7.2. Screening of ground related service areas and mechanical equipment

- d. **Collection areas.** Collection points must be located and configured so that the enclosure gate swing does not obstruct pedestrian or ~~vehicle~~ vehicular traffic or does not require that a hauling truck project into any public right-of-way. Ensure that screening elements allow for efficient service delivery and removal operations.

### C.7.3. Location and screening of roof mounted mechanical equipment

- d. **Location of rooftop equipment screening.** Locate and/or shield noise producing mechanical equipment such as fans, heat pumps, etc. to minimize sounds and reduce impacts at property lines of adjacent properties.

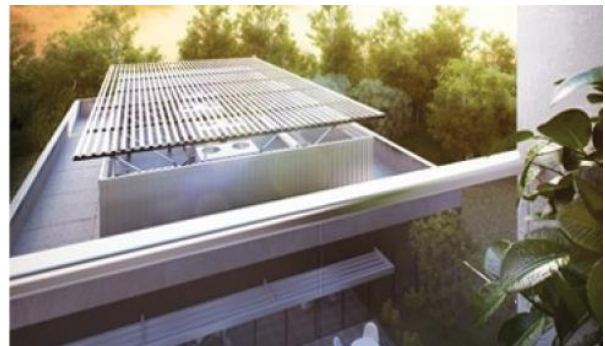
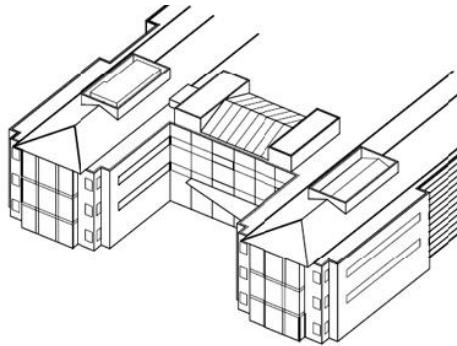


Figure C.7.3.a. Two examples of effective rooftop equipment screening. ~~The left illustration images shows how rooftop mechanical equipment can be located and screened effectively. The right images shows effective location and screening, including side walls and a trellis to screen views from surrounding taller buildings.~~

## D. Site Design Element

~~The site design element guidelines~~**This section** addresses the elements located on the site other than primary buildings. Whereas Section C may address the location, size, and configuration of elements such as landscaping, lighting, walkways, etc., Section D addresses the quality and character of such elements.

### D.1. Landscaping: Plant materials and screening

#### GUIDELINES

##### D.1.1. Reference to Chapter 10.62 WCC Landscaping and Screening

- a. **Applicability.** This guideline applies to all residential development addressed in these guidelines.
- b. **Chapter 10.62 WCC.** ~~The landscaping standards of Chapter 10.62 WCC shall apply to all development addressed by these Guidelines, including duplexes and parking areas~~

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~~servicing multiple units.~~ The provisions of these guidelines are intended to supplement ~~these standards~~ the standards found in WCC10.62. If there is a conflict between the provisions of these guidelines and those of 10.62, the Director will determine those that apply. Exceptions to 10.62 WCC noted below apply.

## D.2. The design of walkways, pathways, and hardscape elements

### GUIDELINES

#### D.2.1. Accessibility

- b. **Walkway widths.** Walkways in developments (not within the public right of way) shall be sufficiently wide to serve their intended purpose and level of use. All required walkways ~~width dimensions above are to~~ shall be clear of permanent obstructions at the dimensions described below.
  - i. All walkways and pathways shall be at least five feet wide with widened areas for two wheelchairs to pass, except for walkways for very occasional use such as paths to a service area serving a single residential unit.
  - ii. Walkways to main entrances to commercial businesses in mixed-use and live-work buildings shall be at least six feet wide.
  - iii. Walkways where bicycle traffic is anticipated shall be at least 10 feet wide with two feet wide shoulders, signed, and configured for safe pedestrian traffic as well as bicycle movement.

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# D.5. Fences, walls, and vertical elements

## GUIDELINES

### D.5.1. Requirements for fences and walls

- e. **Chain link fences are discouraged** but allowed along the street facing fronts of residential development except for multifamily development. Chain link fences are prohibited in street front setbacks of multifamily residences. Chain link fences may be used for temporary purposes such as construction or short-term security. ~~Where permanent chain link fences are employed, they must be black vinyl coated.~~
- f. ~~**Fences in street front setbacks** (Chapter 10.48.130 notwithstanding) noted in WCC 10.46.020 and WCC 10.46.030 shall be no taller than 42 inches above grade (and preferably no taller than 36 inches above grade).~~



Figure D.5.1.a. The fences on the top row are appropriate in residential zones. Those on the bottom left two examples are not acceptable within street front setbacks. However, they may be acceptable alongside and rear yard setbacks.

## E. Building Design

### E.2. Architectural character

#### E.2.41. Architectural character of different residential areas

- c. **Character area specific architectural design requirements.** In the design of new residential buildings, incorporate elements and characteristics relevant to the applicable character area defined in Section B.2. Table E.2.14.c identifies those architectural design characteristics that are typical of the individual character areas. **Specifically:**
  - i. The applicant shall demonstrate to the Director's satisfaction that the project incorporates the architectural design elements and characteristics indicated in the chart.

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ii. If there is a disagreement between the Director and the applicant regarding the adherence to this section, the matter will be referred to the Wenatchee Planning Commission for an informal design review workshop. The recommendation of the Planning Commission to the Director on the specific topic shall be incorporated into building plan revisions and resubmitted to the City for final review. The ultimate decision to approve, approve with conditions, or deny the permit remains with the Director.

~~If there is a disagreement between the Director and the applicant regarding the adherence to this guideline, the matter will be referred to the Wenatchee Planning Commission who will make the final decision.~~

### Requirements by character area:

- i. Development in the Core and Perimeter Neighborhoods Character Area must incorporate at least four of the elements noted by dots in that column.
- ii. Those in the Sunnyslope Character Areas must incorporate at least two of the elements indicated.
- i.iii. Development in the Greater Downtown, ~~and~~ North/South Wenatchee Business Districts, and Waterfront must incorporate at least three of the indicated elements if the project is a new building.

The chart emphasizes that the applicant may propose other architectural design measures to meet one of the minimum required elements (see Table E.2.14.c for details). The project may also include other architectural design features in addition to those required by this guideline. Nothing in this guideline is intended to limit the creativity or uniqueness of an architectural design proposal, so long as it does include the measures previously noted to enhance the local neighborhood as a whole.



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### TYPICAL CHARACTER AREA ARCHITECTURAL ELEMENTS



Figure E.2.14.a. Typical architectural characteristics of different character areas.

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Table E.2. 14.c. Architectural design characteristics that are typical of the individual character areas.

Character Giving Architectural Elements	Character Areas					
	1. Sunnyslope	2. Perimeter Residential Neighborhoods	3. Core Residential Neighborhoods	4. North and South Wenatchee Business Districts	5. Greater Downtown District	6. Waterfront
Narrow (less than 12') or no garage			●			
Multiple gables		●	●			
Horizontal building form (building wider than tall)	●	●				
Pitched roof	●	●	●			
Porch large enough for resting	●		●			
Picture windows	●	●		●	●	●
Vertical windows	●	●	●	●	●	●
Window and door details		●	●	●	●	●
Ornamental materials or details				●	●	●
Traditional building materials (brick, wood siding, wood shingles)	●	●	●	●	●	●
Wildland/Urban Interface non-flammable building materials	●	●				
Accentuated entry in a large building				●	●	●
Modulation of large façades		●	●			●
Other (as approved by the Director)*	●	●	●	●	●	●
Number of characteristics a project must include	2	4	4	3	3	3

\* The applicant may propose other architectural design measures (for one of the minimum required elements). These may be features that are common in nearby residences (by providing a rationale with illustrative photos of nearby lots to the City) or maybe other design features that demonstrably meet the guideline's intent. The Director will determine whether or not the proposal is acceptable.



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### E.3. Architectural composition, massing, and articulation

#### GUIDELINES

##### E.3.1. Scale, compatibility, and façade variety

- b. **Façade articulation intervals for residential buildings and residential portions of mixed-use buildings.** Residential portions of new buildings shall include articulation features at intervals no greater than indicated for individual house types as follows to break up the massing of the building and add visual interest and compatibility to the surrounding context. Also noted are special requirements for façade composition for applicable types.
- iii. **Townhouses.** The maximum façade width without articulation shall be no greater than three-fourths (3/4) of the width of the unit or 15 feet, whichever is greater. This means that the façade of each unit must feature some articulation as ~~exemplified~~illustrated by in Figure 3.1.c, below.



*Figure E.3.1.c. The units in the left image each have distinct, but identical windows and roof forms. The outside unit on the right is differentiated through the use of building materials, window design, unit size, and façade detailing. The units in the right example include reverse elevations that add to the building's composition.*

- c. **Façade articulation methods.** At least three of the following features shall be used at intervals previously indicated.

### E.4. Pedestrian-oriented façades for mixed-use buildings and transparency for residential buildings

#### GUIDELINES

##### E.4.1. Pedestrian-oriented façades

- a. **Applicability.** This guideline applies to buildings where “pedestrian-oriented façades” are required in Guideline Section C.1.2.

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### E.5. Building details: Entrances, windows and corners

#### GUIDELINES

##### E.5.1. Building entrances: Configuration and details

- a. **Applicability.** This guideline applies to all housing types covered by these guidelines.  
~~This guideline applies to all residential development except single family houses and accessory dwelling units.~~

##### E.5.2. Window details

- a. **Applicability.** This guideline applies to all housing types covered by these guidelines.  
~~This guideline applies to all residential development except single family houses and accessory dwelling units.~~

### E.6. Building façade materials

#### GUIDELINES

##### E.6.1. Conditions for the use of specific building materials

- a. **Applicability.** This guideline applies to all residential and mixed-use buildings except single family residences and cottage housing. Where the provisions herein conflict with building materials standards in WCC Title 10, the provisions herein shall apply. This guideline shall also apply to structures and portions of structures that are permitted as residential shared general storage.
- c. **Conditions for metal siding.** Metal siding may be used as noted in Permitted Materials Chart if it is incorporated with other permitted materials and complies with the following:
  - i. It features visible corner molding and trim and does not extend to the ground level of ~~non-residential and~~ mixed-use buildings and extends no lower than two feet above grade for residential buildings. Masonry, concrete, or other durable material shall be incorporated between the metal siding and ground plane.
  - ii. Metal siding shall be factory finished with a matte, non-reflective surface.
  - iii. Where metal siding is the primary or secondary siding material on upper floors, the layout of the panels must be coordinated with the location and patterns of windows, balconies, and modulated building surfaces to provide an integrated appearance.

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Figure E.6.1.c. Metal siding used appropriately in combination with other materials. The use of metal siding in each example above is secondary to masonry. The left and right images are more contemporary in character, whereas the middle image is more rustic and industrial, with more refined windows.

d. Conditions for **fiber cement board-panel or plank** systems (e.g.: Hardie Panel systems).

i. **Fiber Cement board, panel, or planking/ siding products** (e.g. Hardie Panel and Plank) may be used where indicated in the permitted materials chart in this section, provided:

- Where **fiber cement board-paneling /or plank** siding is the primary or secondary material, the paneling joints must be arranged in a pattern that is consistent with windows, balconies, and modulated building surfaces and must be enhanced with façade details that add visual interest from the ground level and adjacent buildings.
- **Fiber Cement board-paneling/siding or plank** may not be used on ground level facades containing non-residential uses.
- Where **fiber cement board-paneling/siding or plank** is the dominant siding material, the design must integrate a mix of colors and/or textures that are articulated consistent with windows, balconies, and modulated building surfaces and are balanced with façade details that add visual interest from the ground level and adjacent buildings.



The above building uses **fiber cementitious wall board panels and planks** in different textures and colors to help articulate the façade. The white color replicates the board and batten style in the left image and green color in the right image effectively replicates horizontal wood siding.



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~~The wall-fiber cement board~~-panels covering a large area in a single color would not meet the purpose of the standards. The right image is a better example and combines larger panels (dark maroon color) with horizontal ~~wall-board~~planks siding (beige color) as effective articulation features. ~~Below is a similar acceptable example.~~

Figure E.6.1.d. Acceptable and unacceptable (lower left) use of panel board systems.

- e. **Conditions for Exterior Insulation and Finish System (EIFS).** EIFS may be used as noted in Permitted Materials Chart if it meets the following conditions:
- i. EIFS ~~that is subject to damage and deterioration from human contact~~ is prohibited within 2 vertical feet of the sidewalk or ground level or in areas that are especially subject to deterioration from human contact such as around a primary building entry or front façade adjacent to a sidewalk. Concrete, masonry, or other highly durable material(s) must be used for the subject ground level building elevations to provide a durable surface where damage is most likely.
  - ii. EIFS must feature a smooth or sand finish only.
  - iii. EIFS must be trimmed in wood, masonry, or other material and must be sheltered from weather by roof overhangs or other methods
  - iv. Applicants proposing to use EIFS as an exterior building material, must submit a manufacturer's product description and warranty to the Director for approval.



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Figure E.6.1.e. Examples of acceptable and unacceptable use of EIFS. Buildings 1 and 2 mix EIFS with brick and other materials and integrate trim details around windows to add a sense of depth to the façade. Building 3 uses EIFS in between the window and sidewalk - this design is prohibited. Building 4 uses EIFS as the primary siding material, which is prohibited except in the North and South Wenatchee Business District areas.

### E.6.2. Building materials allowed in specific character areas.

a. **Applicability.** This guideline applies to all residential and mixed-use buildings except single family residences and cottage housing. This guideline shall also apply to structures and portions of structures that are permitted as residential shared general storage.

b. **Character area and specific materials requirements.** The following chart identifies where materials are permitted in each of the character areas identified in Section B.2 according to the following legend/markings:

P = Permitted as a primary, secondary, or accent material.

S = Permitted as a secondary or accent material.

A = Permitted as an accent material.

N = Not permitted.

C = The material may be permitted, but the Director may require added conditions in order to ensure the durability and quality of materials provide a high level of design, construction, finish, and increase consistency with the desired design character for the particular Character Area described in B.2. See Section E.6.1.

■ The color green indicates the material is generally acceptable in the character area.

■ Yellow indicates there are some conditions or limitations for using the material.

■ Red indicates the material is not acceptable for that character area.

Primary material means any single material that covers more than 35 percent of the façade.

Secondary material means any single material that covers 35 percent or less of the façade.

Accent material means any single material used for a small building element such as a door, canopy, weather protection, light fixtures cornice, trim (e.g. window trim), signs, or artwork.

Other materials not covered in this section will be evaluated by the Director based on the intent statement of this section. The Director may allow materials otherwise prohibited if the applicant can demonstrate to the Director's satisfaction that the material is durable,

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appropriate for the proposed purpose and application, and meets the objectives of this section.



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*Table E.6.2. Permitted materials chart*

Legend: P = Permitted as a primary, secondary, or accent material. S = Permitted as a secondary or accent material. A = Permitted as an accent material. N = Not permitted. C = See details above.	Core Res. - bottom floor	Core Res. - above first floor	Perimeter Residential	Sunnyslope	N/S Wenatchee Business Dis	<del>CBD</del> Greater Downtown	Waterfront
<b>Materials</b>							
Brick, stone, masonry except for CMU	P	P	P	P	P	P	P
CMU, Plain	N	N	N	S	SC	SC <sup>+</sup>	SC
CMU with enhancements	SC	SC	SC	SC	P	P	P
EIFS	N	SC	SC	SC	PC	SC	SC
Metal siding	N	N	SC	SC	PC	PC	PC
<u>Fiber</u> Cement panels (e.g.: Hardie Panels)	PC	PC	PC	SC	PC	PC	P
<u>Fiber</u> Cement <del>panels-plank</del> w/ pattern (e.g.: Hardie Plank)	P	P	P	P	P	PC	P
Lap siding, wood shingles or similar	P	P	P	P	<del>P</del> S	<del>P</del> S	P
Wood panels with special finish and texture	PC	PC	PC	PC	PC	PC	PC
Mirrored or highly reflective surfaces	N	N	N	N	AC	N	N
Plastic or sheet fiberglass	N	N	N	N	N	N	N
Ceramic tile and similar	A	A	A	A	S	S	S
Concrete	<u>SC</u>	<u>SC</u>	<u>SC</u>	<u>SC</u>	<u>SC</u>	<u>SC</u>	<u>SC</u>
Stucco	<u>PC</u>	<u>PC</u>	<u>PC</u>	<u>PC</u>	<u>PC</u>	<u>PC</u>	<u>PC</u>

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**Wenatchee Urban Area Comprehensive Plan**

**LAND USE / URBAN GROWTH AREA**

**Proposed Land Use Districts and Overlays**

The land use map provides a mix of zoning designations that in any given location provide the potential for equal or higher densities when compared to the previous land use map. The breakdown of how much area is covered by each zoning designation and overlay can be seen in Table 1. It should be noted that publicly owned land and public right-of-way is included in the figures in Table 1 therefore the actual amount of privately-owned developable or re-developable land in each district or overlay is less than the area listed.

**Table 1 Area of Zoning Districts and Overlays in the Wenatchee UGA [updated table with current data]**

<b>Zone*</b>	<b>Abbreviation</b>	<b>Acres</b>	<b>% of UGA</b>
Central Business District	CBD	187	2.0%
North Wenatchee Business District	NWBD	581	6.3%
South Wenatchee Business District	SWBD	95	1.0%
Neighborhood Commercial	CN	24	0.3%
College District	CD	56	0.6%
Industrial	I	1,008	10.9%
Waterfront Mixed Use	WMU	548	6.0%
Office Mixed Use	OMU	123	1.3%
Residential Mixed Use	RMU	61	0.7%
Residential Foothills Low	RF	245	2.7%
Residential Single Family	RS	2,120	23.0%
Residential Low	RL	591	6.4%
Residential Moderate	RM	2,386	25.9%
Residential High	RH	1154	12.5%
Live-work Corridor	LWC	25	0.3%

<b>Overlay</b>	<b>Abbreviation</b>	<b>Acres</b>	<b>% of UGA</b>
Historic / Entertainment Overlay	HEO	44	0.5%
Columbia Street Overlay	CSO	22	0.2%
Mixed Residential Corridor	MRC	335	3.6%
Waterfront Industrial Overlay	IO	72	0.8%
Waterfront Pedestrian Overlay	PO	39	0.4%
Waterfront Recreational / Residential Overlay	RRO	8	0.1%
Grandview Historic District	GHD	36	0.4%

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Neighborhood Overlay	Commercial	CNO	52	0.6%
College District Overlay		CDO	234	0.2%

Total Area of UGA (Acres) 9,206

\*Overlays partially cover parts of some of these zoning districts and therefore change the character of the proposed, form and land use.

**[proposed text located between "Historic Districts" section and "Coordinated Planning" section]**

**College District**

Wenatchee Valley College is an important regional educational institution and community asset in the heart of the Wenatchee Valley. The college specializes in workforce training and continuing education for a student body that is highly diverse in terms of age, ethnicity, family status, and place of residence. College operations to serve this student body have land use and transportation impacts that affect parking, traffic, building construction, housing, and the visual character of the area. Located in a moderate-density residential neighborhood, these impacts disproportionately affect nearby residents. The college has a strong visual identity within the community and wishes to maintain an inviting appearance. The most visible part of the campus for neighbors and passersby are its edges, especially along Fifth Street and Ninth Street, the visual quality of which varies from park-like to paved parking lots. Pedestrian conditions along the campus perimeter also vary.

Buildings on campus exhibit a mix of architectural styles and scales, but the design characteristics of the campus are dominated by large, solid brick structures, which communicate a sense of permanence. Open areas feature landscaping and paving and the central

fountain is a gathering point for events on campus.

As a major institution surrounded by a medium-density neighborhood, relations between the college and neighbors can be complex. Local residents generally feel positive about the presence of the college in their neighborhood. The amenities the campus provides in terms of open space, athletic fields, and cultural facilities are especially appreciated. Neighbors also appreciate the relatively low-profile of the campus in terms of light and after-hours noise. However, both residents and college staff recognize there is room for improvement in the level of communication and understanding between the college and neighborhood especially regarding campus growth and student parking.

The College District was developed to allow WVC to operate as a permitted use, as opposed to a conditional use, and also to have design standards that are specifically intended for a college campus.

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### GOALS AND POLICIES

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**Goal 18. College District – Support and encourage ongoing maintenance and investment in the Wenatchee Valley College (WVC) campus to meet community and regional educational and training needs while also addressing the needs and concerns of surrounding neighborhoods.**

**Policy 1:** Create an attractive and functional edge to the WVC campus that reflects its high quality and mitigates visual impacts to the surrounding neighborhood.

**Policy 2:** Allow for a variety of activities and facilities within the campus's core and that are not prominently visible from public streets.

**Policy 3:** The purpose of the College District Overlay is to provide a process for which properties in this area may be included in the College District zone upon acquisition by an institution of higher education and approval by the City.

**Policy 4:** The provisions of the College District Overlay are only intended for institutions of higher education that are either Wenatchee Valley College (WVC), or another institution of higher education working in partnership with WVC.

**Policy 5:** Maintain design standards and processes that provide for predictable and desirable outcomes for both the college facilities and neighborhoods.

**Policy 6:** Maintain appropriate development standards regarding parking, building height, architectural design standards, landscaping, etc. for the College District.

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**IMPLEMENTATION**

The conceptual land use map proposes land use categories for Wenatchee. The following table reflects the beginning elements of the zoning and development standards that might be adopted to implement this plan, in addition to policy direction of the comprehensive plan.

<b>District</b>	<b>Primary Uses</b>	<b>General Development Standards</b>
<p><b>Central Business District</b></p>	<p><b>Primary Uses:</b></p> <ul style="list-style-type: none"> <li>▪ Retail, food and beverage, entertainment, office</li> <li>▪ Residential</li> </ul> <p><b>Secondary Uses:</b></p> <ul style="list-style-type: none"> <li>▪ Limited light manufacturing</li> </ul>	<ul style="list-style-type: none"> <li>▪ Limited on-site parking</li> <li>▪ Architectural design controls</li> <li>▪ Tallest buildings</li> <li>▪ No setbacks or lot coverage limits</li> <li>▪ Design Controls on buildings and parking lots</li> <li>▪ Signage controls for illumination, sandwich boards, off-premise, size and location</li> <li>▪ Design controls for ground floor residential uses including additional standards in identified pedestrian corridors</li> <li>▪ Height: 90ft</li> </ul>
<p><b>North Wenatchee Business District</b></p>	<p><b>Primary Uses:</b></p> <ul style="list-style-type: none"> <li>▪ Full range of office, service, and retail uses</li> <li>▪ Residential</li> </ul> <p><b>Secondary Uses:</b></p> <ul style="list-style-type: none"> <li>▪ Light manufacturing</li> </ul>	<ul style="list-style-type: none"> <li>▪ Height: 90ft</li> <li>▪ Landscaping and signs</li> <li>▪ Access control</li> <li>▪ Develop pedestrian destination or orientation</li> <li>▪ Work on entrance and gateway improvements (landscaping, signage, public art, etc.)</li> <li>▪ Design controls for ground floor residential uses</li> </ul>
<p><b>South Wenatchee Business District</b></p>	<p><b>Primary Uses:</b></p> <ul style="list-style-type: none"> <li>▪ Full range of office, service, and retail uses Residential</li> </ul> <p><b>Secondary Uses:</b></p> <ul style="list-style-type: none"> <li>▪ Light manufacturing</li> </ul>	<ul style="list-style-type: none"> <li>▪ Height: 90ft</li> <li>▪ Work on entrance and gateway improvements (landscaping, signage, public art, etc.)</li> <li>▪ Design controls for ground floor residential uses</li> </ul>
<p><b>Corridor Live-Work</b></p>	<p><b>Primary Uses:</b></p> <ul style="list-style-type: none"> <li>▪ Residential live-work</li> <li>▪ New (not converted) attached multi-family units</li> <li>▪ 3 or more attached single-family units</li> <li>▪ Ground floor retail, food and beverage, entertainment</li> <li>▪ Professional services</li> </ul> <p><b>Secondary Uses:</b></p> <ul style="list-style-type: none"> <li>▪ Light manufacturing</li> <li>▪ Auto repair</li> <li>▪ Upper floor residential</li> </ul>	<ul style="list-style-type: none"> <li>▪ Identify blocks for ground floor pedestrian activity</li> <li>▪ Height: 90ft</li> <li>▪ Work on entrance and gateway improvements (landscaping, signage, public art, etc.)</li> <li>▪ Design controls for ground floor residential uses</li> </ul>

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<b>District</b>	<b>Primary Uses</b>	<b>General Development Standards</b>
<b>Waterfront</b>	<p><b>Primary Uses:</b></p> <ul style="list-style-type: none"> <li>▪ Development varies by node</li> <li>▪ Ground floor retail, food and beverage, entertainment</li> <li>▪ Residential</li> </ul> <p><b>Secondary Uses:</b></p> <ul style="list-style-type: none"> <li>▪ Limit industrial activity to active areas</li> <li>▪ Upper floor offices</li> <li>▪ Upper floor residential</li> </ul>	<ul style="list-style-type: none"> <li>▪ Land use controls applicable to land along Columbia Riverfront</li> <li>▪ Architectural design controls</li> <li>▪ Emphasis on connection with waterfront</li> <li>▪ Height: 90ft</li> </ul>
<b>Mixed Residential Corridor</b>	<p><b>Primary Uses:</b></p> <ul style="list-style-type: none"> <li>▪ Variety of housing choices</li> <li>▪ Schools, churches, public buildings</li> <li>▪ Adult homes</li> </ul> <p><b>Secondary Uses:</b></p> <ul style="list-style-type: none"> <li>▪ Apartments</li> <li>▪ Neighborhood services</li> <li>▪ Professional offices</li> </ul>	<ul style="list-style-type: none"> <li>▪ Architectural controls on multi-family and non-residential development</li> <li>▪ Development limited to suitable locations only</li> <li>▪ Focus on intersection development as first phase</li> <li>▪ Could require road improvements</li> <li>▪ Landscaping required</li> <li>▪ Signs strictly limited</li> </ul>
<b>Office &amp; Residential Mixed Use</b>	<p><b>Primary Uses:</b></p> <ul style="list-style-type: none"> <li>▪ Variety of housing choices</li> <li>▪ Professional offices</li> <li>▪ Neighborhood services</li> <li>▪ Medical centers</li> <li>▪ Apartments</li> </ul> <p><b>Secondary Uses:</b></p> <ul style="list-style-type: none"> <li>▪ Retail and food service</li> <li>▪ Light manufacturing</li> </ul>	<ul style="list-style-type: none"> <li>▪ Mixed use zone suitable for residential, professional office, and in some limited areas, light industrial uses</li> <li>▪ Height: 60ft</li> </ul>
<b>Neighborhood Commercial</b>	<p><b>Primary Uses:</b></p> <ul style="list-style-type: none"> <li>▪ Neighborhood services, such as banks, convenience store, bakery, coffee, book stores</li> </ul> <p><b>Secondary Uses:</b></p> <ul style="list-style-type: none"> <li>▪ Residential uses</li> </ul>	<ul style="list-style-type: none"> <li>▪ Neighborhood commercial zone intended to provide services at a neighborhood level</li> <li>▪ Design controls for ground floor residential uses</li> <li>▪ Height: 35ft</li> </ul>
<b>College District</b>	<p><b>Primary Uses:</b></p> <ul style="list-style-type: none"> <li>• <u>Institution of Higher Education</u></li> <li>• <u>Student Housing</u></li> </ul> <p><b>Secondary Uses:</b></p> <ul style="list-style-type: none"> <li>• <u>Compatible uses supporting campus operations</u></li> </ul>	<ul style="list-style-type: none"> <li>▪ <u>Architectural design standards for facades visible from the edge of the district or public right-of-way.</u></li> <li>▪ <u>Landscaping standards providing appropriate buffer between campus and surrounding neighborhoods.</u></li> <li>▪ Height: 60ft</li> </ul>
<b>Industrial</b>	<p><b>Primary Uses:</b></p> <ul style="list-style-type: none"> <li>▪ Manufacturing</li> <li>▪ Auto repair</li> <li>▪ Warehouses and storage</li> </ul> <p><b>Secondary Uses:</b></p> <ul style="list-style-type: none"> <li>▪ Commercial uses that provide services</li> </ul>	<ul style="list-style-type: none"> <li>▪ Industrial land uses</li> <li>▪ Allow commercial uses in industrial land uses</li> <li>▪ Height: 90ft</li> </ul>



**Exhibit E:**

Proposed amendments to Wenatchee Urban Area Comprehensive Plan for the public hearing with Planning Commission on November 18, 2020.

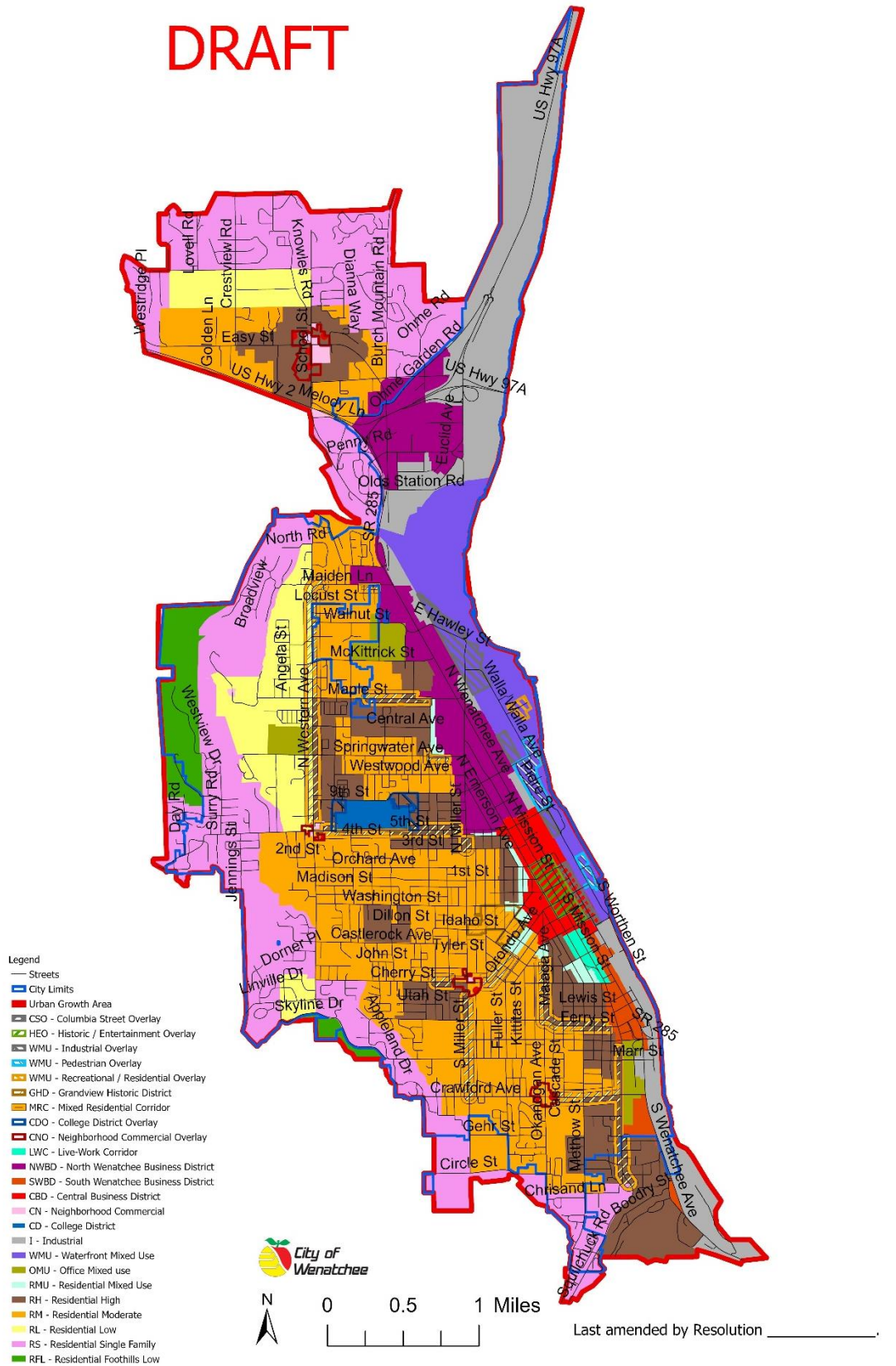
<b>District</b>	<b>Primary Uses</b>	<b>General Development Standards</b>
<b>Residential Foothills Low</b>	<p><b>Primary Uses:</b></p> <ul style="list-style-type: none"> <li>▪ <u>Single family</u></li> <li>▪ <u>Duplex</u></li> </ul> <p><b>Secondary Uses:</b></p> <ul style="list-style-type: none"> <li>▪ Accessory Dwelling Units</li> <li>▪ <u>Agricultural uses</u></li> <li>▪ <u>Home based businesses</u></li> </ul>	<ul style="list-style-type: none"> <li>▪ <del>Very low density residential suited for outlying areas taking into consideration topography and foothills aesthetics.</del></li> <li>▪ <del>Very low density residential suited for foothills area</del></li> <li>▪ Density: Up to <u>2-4</u> units per acre</li> <li>▪ Height: 30ft</li> </ul>
<b>Residential Single Family</b>	<p><b>Primary Uses:</b></p> <ul style="list-style-type: none"> <li>▪ <u>Single Family</u></li> <li>▪ <u>Duplex</u></li> <li>▪ <del>and C</del> compatible very low-density development.</li> </ul> <p><b>Secondary Uses:</b></p> <ul style="list-style-type: none"> <li>▪ Accessory Dwelling Units</li> <li>▪ Agricultural uses</li> <li>▪ Home based business</li> </ul>	<ul style="list-style-type: none"> <li>▪ Very low density residential suited for outlying areas taking into consideration topography and foothills aesthetics.</li> <li>▪ Density: Up to 6 units per acre</li> <li>▪ Height: 30ft</li> </ul>
<b>Residential Low</b>	<p><b>Primary Uses:</b></p> <ul style="list-style-type: none"> <li>▪ Compatible blended low density housing</li> </ul> <p><b>Secondary Uses:</b></p> <ul style="list-style-type: none"> <li>▪ Accessory Dwelling Units</li> <li>▪ Agricultural uses</li> <li>▪ Home based business</li> </ul>	<ul style="list-style-type: none"> <li>▪ Low density residential development</li> <li>▪ Density: Up to 8 units per acre</li> <li>▪ Height: 30ft</li> </ul>
<b>Residential Moderate</b>	<p><b>Primary Uses:</b></p> <ul style="list-style-type: none"> <li>▪ Entire range of housing choices</li> </ul> <p><b>Secondary Uses:</b></p> <ul style="list-style-type: none"> <li>▪ Accessory Dwelling Units</li> <li>▪ Agricultural uses</li> <li>▪ Home based business</li> </ul>	<ul style="list-style-type: none"> <li>▪ Moderate density residential development suitable to a variety of housing choices, subject to appropriate design and development standards for neighborhood compatibility.</li> <li>▪ Density: Up to 20 units per acre</li> <li>▪ Height: 35ft</li> </ul>
<b>Residential High</b>	<p><b>Primary Uses:</b></p> <ul style="list-style-type: none"> <li>▪ Entire range of housing choices</li> </ul> <p><b>Secondary Uses:</b></p> <ul style="list-style-type: none"> <li>▪ Adult care facilities</li> <li>▪ Home based business</li> </ul>	<ul style="list-style-type: none"> <li>▪ Mixed residential densities suitable to a variety of housing choices which maintain and enhance desired urban neighborhood characteristics through appropriate design and development standards.</li> <li>▪ Density: Up to 40 units per acre</li> <li>▪ Height: 60ft</li> </ul>

### Exhibit E:

Proposed amendments to Wenatchee Urban Area Comprehensive Plan for the public hearing with Planning Commission on November 18, 2020.

## Wenatchee Urban Area Land Use Map

**DRAFT**



## Exhibit E:

Proposed amendments to Wenatchee Urban Area Comprehensive Plan for the public hearing with Planning Commission on November 18, 2020.

# TRANSPORTATION

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[no proposed amendments to the Transportation Element's narrative text, only the proposed Goals and Policies section below]

## GOALS AND POLICIES

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**GOAL 3: PEDESTRIANS, BICYCLES & TRANSIT** – *Provide a mix of transportation options that better meets the changing needs and preferences of Wenatchee residents.*

**Policy 1:** Encourage physical activity and alternative modes of transportation by adopting more pedestrian and bicycle friendly street standards (e.g. pavement width, landscaping requirements).

**Policy 2:** Improve and maintain pedestrian connections between residential, employment, service, and recreation centers. Give priority consideration to school walking routes and access to transit.

**Policy 3:** Integrate pedestrian and bicycle concerns into the development review process. Discourage development that limits pedestrian and bicycle connections (e.g. dead-end streets).

**Policy 4:** Enhance the attractiveness and marketability of downtown by expanding its pedestrian orientation beyond the Wenatchee Avenue core to all of the Central Business District.

**Policy 5:** Provide a comprehensive and interconnected network of bikeways linking residential areas with employment and recreation centers.

**Policy 6:** Encourage consideration for new or improved transit stops, shelters, and park & rides where appropriate during development review and roadway reconstruction projects.

**Policy 7:** The 2016 Wenatchee Complete Streets Policy, 20 Year Vision for the Bicycle Network identified in the 2013 Greater Wenatchee Bicycle Master Plan, and pedestrian plans should be considered among a range of alternatives to provide a connected multi-modal transportation network within the City of Wenatchee.

Choices made by the City shall ultimately reflect an approach of implementation of the comprehensive plan as a whole, balancing and pursuing the goals and policies of the plan an encouraging neighborhood, business and community feedback and participation.

**Policy 8:** Implement the 2016 Complete Streets Policy adopted by the City of Wenatchee, intended to serve individuals of all ages and abilities including but not limited to: pedestrians, bicyclists, public /paratransit users, people with disabilities, emergency responders, motorists, freight providers, commercial vehicles, delivery/service personnel, and adjacent property owners.

**Policy 9:** Improve and maintain pedestrian connectivity in the immediate vicinity of Wenatchee Valley College to improve safety and facilitate connections to parking areas and nearby residences.

**Policy 10:** Encourage a high level of transit service to the Wenatchee Valley College campus.

## Exhibit E:

Proposed amendments to Wenatchee Urban Area Comprehensive Plan for the public hearing with Planning Commission on November 18, 2020.

***Goal 5: Parking - Establish parking to be highly utilized, efficient, and safe, while promoting community appearance and alternative modes of transportation.***

**Policy 1:** Coordinate parking in a manner that supports and strengthens the unique character of existing and emerging districts and neighborhoods. Consider developing a parking matrix to establish varying parking requirements at the individual district level. Where appropriate, manage parking by defined area or district.

**Policy 2:** Discourage private standalone surface parking lots; i.e. parking lots without a primary use. Encourage efficient structured parking that can be shared by multiple users.

**Policy 3:** Incentivize consolidation and reduction of vehicle access points along the street network through parking reductions.

**Policy 4:** Reduce parking requirements for appropriate types of projects (e.g. affordable housing or senior housing); and onsite amenities such as bike racks, interior bike storage and showers for employees, or where employers provide employee incentives for alternative modes of transportation for commuting (cash out of parking spot, free transit pass, etc).

**Policy 5:** Adopt parking management strategies including better signage and enhanced pedestrian connections to optimize existing or new public parking facilities.

**Policy 6:** Promote existing off-street parking reductions for new development with access to transit or public parking facilities.

**Policy 7:** Evaluate feasibility for implementation of a fee based residential parking permit system for overnight use of public parking lots within the Downtown.

**Policy 8:** Seek to implement the code related action strategies and multi-phased parking management strategies of the Downtown Strategic Parking Management Plan.

**Policy 9: Establish collaborative measures between Wenatchee Valley College, the community, and the City to reduce the impact of student parking on neighborhood streets.**

**Exhibit F:**

Public comments received

No public or agency comments were received by start of business on November 10, 2020.

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