

**WENATCHEE HISTORIC PRESERVATION BOARD
REGULAR MEETING
DECEMBER 6, 2017
WENATCHEE CITY HALL COUNCIL CHAMBERS
129 S. Chelan Avenue
Wenatchee, WA 98801**

AGENDA

- I. **CALL TO ORDER: 5:30 PM**

- II. **ADMINISTRATIVE AFFAIRS**
 - A. Approval of the minutes from the regular meeting of October 4, 2017.
 - B. Term expiration – Board member Mark Seman

- III. **PUBLIC COMMENT PERIOD (10 MINUTES)**

Comment for any matters not identified on the agenda.

- IV. **OLD BUSINESS**

None

- V. **NEW BUSINESS**
 - A. HP-17-10 – Certificate of Appropriateness – 926 Idaho Street
 - B. HP-17-11 – Certificate of Appropriateness – 21 S. Chelan Avenue

- VI. **OTHER**
 - A. Member roundtable

- VII. **ADJOURNMENT**

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Mayor's office at (509) 888-6204 (TTY 711). Notification 72 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to the meeting (28 CFR 35.102-35.104 ADA Title 1.)

MINUTES

I. CALL TO ORDER

Chair Bob Culp called the meeting to order at 5:30 p.m. with the following members in attendance: Lisa Dahlgreen, Mark Seman, Jon Campbell, Stacie De Mestre, Darlene Baker, and Wendy Priest. City staff was represented by Glen Devries, Community Development Director; Stephen Neuenschwander, Planning Manager; and Kim Schooley, Administrative Assistant. Also present was, Steve Smith, City Attorney.

II. ADMINISTRATIVE AFFAIRS

- A. Executive session to discuss with legal counsel representing the agency matters relating to litigation or potential litigation to which the agency may become a party, when public knowledge regarding the discussion is likely to result in an adverse legal or financial consequence to the agency. RCW 42.30.110(1)(i).

Chair Bob Culp advised the board that they would be entering into executive session with City Attorney Steve Smith for a period of twenty minutes to discuss agency matters relating to litigation or potential litigation to which the agency may become a party.

Chair Culp asked for a motion to move into executive session.

Board member Campbell moved to enter into executive session. Board member Baker seconded the motion. The motion carried.

Chair Culp resumed the regular meeting at 5:50 p.m.

- B. Approval of the minutes from the regular meeting of September 6, 2017.

Board member Campbell moved to approve the minutes from the regular meeting of August 2, 2017. Board member Seman seconded the motion. The motion carried.

III. PUBLIC COMMENT PERIOD (10 MINUTES)

- A. Comment for any matters not identified on the agenda.

There was no public comment.

Chair Culp provided an explanation of public hearing procedures.

IV. OLD BUSINESS

- A. HP-17-06 - Certificate of Appropriateness - 120 S. Franklin Avenue

Chair Culp re-opened the record on the hearing which was continued from September 6, 2017 and called for deliberations of the board.

Board member Seman advised that he thought it would be helpful for the board to see the window project from a before and after status to see how the project turned out. He advised that he thought it would be helpful to see the window before it was removed and then after the new

window was installed. He advised that he was skeptical about the success of being able to retro-fit the proposed vinyl windows and maintain the original trim work. He advised that seeing the process might assist the board with decision-making on future applications.

Board member Wendy Priest commented about procedural difficulties regarding the application which she felt had hindered the board’s ability for a complete review of the project.

Board member Seman moved to approve HP-17-06, a Certificate of Appropriateness for 120 S. Franklin Avenue based upon the findings of fact and conclusions of law, and conditions of approval as contained within July 5, 2017 staff report, with the additional condition that the homeowner allow staff to take photos of the existing window condition before removal and then allow staff and board members to make a site visit to view the new window after installation. Board member Baker seconded the motion. The motion carried with 6 in favor and 1 vote against by Board member Priest.

V. NEW BUSINESS

None

VI. OTHER

A. Member roundtable

- Board member Seman advised that he had brought thank you cards to be signed by the board for Washington Federal Bank and City staff.
- Board member Campbell mentioned the recent sale of the Conrad Rose Home – Denton Meier, one of the new owners, spoke about plans for the building.

VII. ADJOURNMENT

Tour of Jones and Jones following adjournment.

With no further business to come before the Historic Preservation Board, Chair Bob Culp adjourned the meeting at 6:25 p.m.

(Tour concluded at approximately 7:45 p.m.)

Respectfully submitted,
CITY OF WENATCHEE
DEPARTMENT OF COMMUNITY DEVELOPMENT
Kim Schooley, Administrative Assistant

**STAFF REPORT
HP-17-10, 926 IDAHO STREET**

TO: Wenatchee Historic Preservation Board
FROM: City of Wenatchee Community Development Staff
RE: Review for a Certificate of Appropriateness for 926 Idaho Street
DATE: December 6th, 2017

I. SUMMARY OF REQUEST

Description of Request:

The City of Wenatchee has received an application submitted by Michael and Sharon Stubblefield for a Certificate of Appropriateness to extend the existing portico three feet and replace the existing corbels with columns for support. The applicants are additionally purposing to attach an arbor to the new portico with a poured concrete pad underneath, add wood window boxes under the main floor windows, and replace the current nonhistoric steel door with a salvaged solid mahogany front door.

II. GENERAL INFORMATION

Applicant/Owners: Michael and Sharon Stubblefield, 1208 Orchard Avenue, Wenatchee, WA 98801

Department Review: City of Wenatchee Community Development Staff

Location and/or legal description: The subject property is located at 926 Idaho Street, Wenatchee, WA and legally described Lot 18, Block 66, Grandview Addition to Wenatchee, Chelan County, Washington, according to the plat thereof recorded in Volume 1 of Plats, Page 59. The parcel is identified as Assessor's Parcel Number: 22-20-10-586-545.

Zoning District: Residential Moderate (RM), Grandview Historic District (GHD) Overlay

Comprehensive Plan Designation: RM and GHD

Application Date: A complete application was submitted on October 16, 2017 and determined complete on October 27, 2017.

History: The house at 926 Idaho Street stands on Block 66 of the Grandview Addition to Wenatchee, platted in 1903. Development on this block took shape largely in the 1920s. Infill came later in the 1940s and '50s, particularly along Bryan Street. By 1928, lots along Franklin Avenue, and about half of lots along Idaho Street contained single-family homes with detached garages.

This particular parcel was develop by 1928. It appears on Sanborn Insurance maps for that year in its current configuration with a small garage on the alley.

R.L. Polk city directories for 1929-30 list Parker and Florence Stowers as the owner-occupants at this address. Parker was the assistant cashier at the First National Bank. Given as renters in the house are Leroy W. and Lee Hayes. Leroy is described as the office manager for Atlantic Commission Co. By 1940, James Naughton is give as the owner, with Enid Marquette, a restaurant worker, and Anna Smith, a domestic, as residents.

This house has undergone considerable alteration, but remains compatible in massing, setback, and site design with the neighborhood. (Source: Historic Property Inventory Form, State of WA, Department of Community Development Office of Archaeology).

Physical Appearance: A two-story front and side gable house clad in vinyl siding. Multi-paned double-hung sash in groups of two and three. Gable-roofed hood with brackets over front entry. Fully enclosed rear porch.

Open front yard with concrete path to stoop. Plank fencing around the side yard. Back yard unlandscaped, with metal clad, gable roof garage accessed from alley. (Source: Historic Property Inventory Form, State of WA, Department of Community Development Office of Archaeology).

The vinyl siding was removed and replaced with cedar singles in 2007. At the same time the vinyl windows were replaced. The changes to exterior changed the status of the residence from noncontributing to contributing.

In 2008, the current owners were approved to receive the special property tax valuation for rehabilitation work to the interior of the residence and new concrete steps for the front and back entrances. The special valuation will end in 2019.

Historic Inventory Photos 1-2:

Photo 1 –

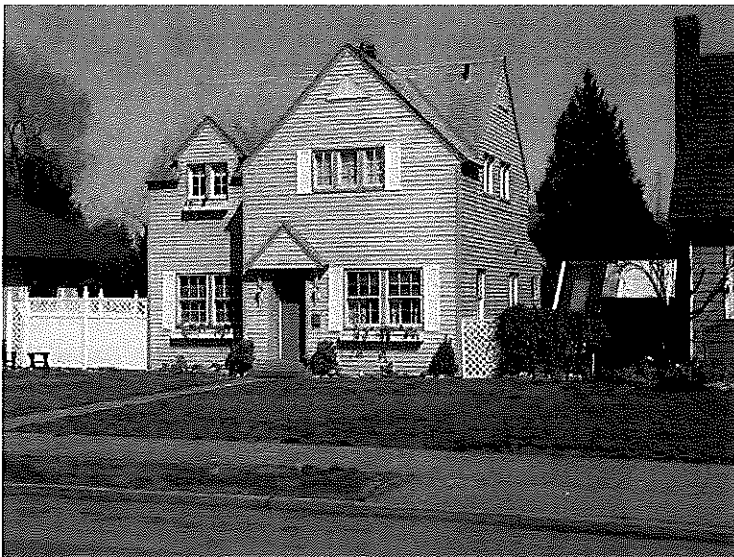


Photo 2 –

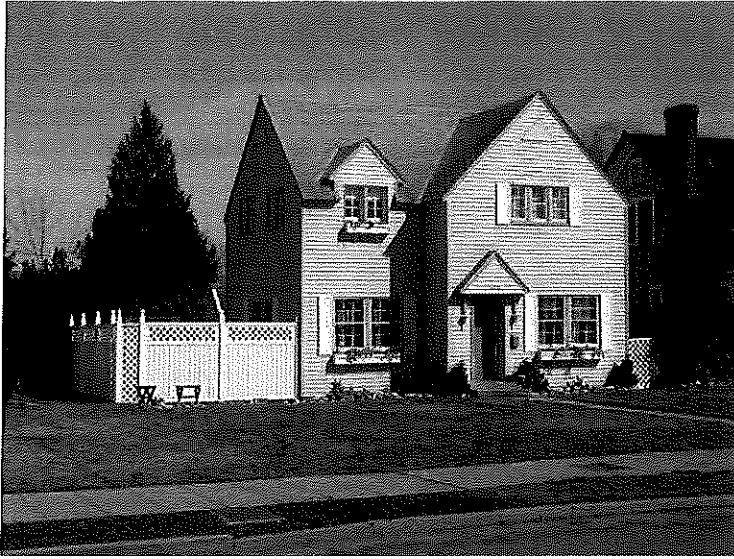


Photo 3 –



III. NOTICE AND PUBLIC COMMENT

Notice of application and the December 6th, 2017 hearing before the Wenatchee Historic Preservation Board was posted on the subject property, mailed to surrounding property owners, and published in the newspaper in accordance with the requirements of Title 13, Wenatchee City Code (WCC).

IV. APPLICABLE POLICIES AND STANDARDS

Purpose

WCC 10.40.060 Grandview historic district (GHD). The purpose of the Grandview Historic District overlay is to implement special design and review standards that protect and promote the historic character of the Grandview Historic District designated to the City of Wenatchee Register of Historic Places pursuant to Chapter 2.36 WCC.

Process

WCC 13.09.050 Type III quasi-judicial review of applications.

(1) Type III quasi-judicial review shall be used when the development or use proposed under the application requires a public hearing before a hearing body which will generally be the historic preservation board or the hearing examiner. This type of review includes, but is not limited to, the following:

(g) Certificates of appropriateness or waivers.

Authority

WCC 10.40.060(5) Actions Subject to Historic Preservation Board Approval. The following actions shall be subject to the review of the historic preservation board in accordance with WCC 2.36.170 for compliance with applicable provisions of the Grandview Historic District Preservation Handbook. All decisions of the historic preservation board are subject to appeal in accordance with Chapter 13.11 WCC, Appeals.

(c) Exterior work visible from a public street not listed above, such as use of different materials, modification of original features, etc.

Review Criteria

WCC 10.40.060(2) The listed “Standards” found in the preservation handbook are required to be followed on portions of properties visible from the street to preserve the historic character of the district as a whole. For this purpose, alleys are not considered public streets. Visible from a public street shall be determined by whether the work is visible from any location while standing on the public sidewalk in front of the subject property and standing on the sidewalk in front of adjacent properties. “Options and Guidance” provisions included in the handbook are not required provisions. They provide additional information for meeting the intent of each section, and provide alternative options to meet the intent that may require historic preservation board approval and/or staff review.

Grandview Historic District Preservation Handbook

General Intent: Specific standards are provided for foundations, siding, windows and doors, roofs, and porches in the following sections. In addition, there are common standards that apply to most if not all features of the primary structure recognizing that structure’s architectural style. The intent of this section is to provide general standards that apply to the entire primary structure. The standards are designed to preserve the front appearance and historic character of individual structures that make up the district as a whole, while providing for reasonable use of private property.

Windows and Doors (visible from the street) Intent: Windows and doors are an important and highly visible feature of many historic structures which accentuate the character and architectural style of the house. Original windows and doors reflect a high degree of craftsmanship and quality of materials of the period. Commonly found features of historic windows include divided lights and/or a double sash. In addition, historic windows are predominately inset from the building face, which creates depth and character – also referred to as “three-dimensionality”.

Porches Intent: Porches are common features of many 19th- and 20th- Century residential styles. In many residences, the porch is the most distinctive stylistic element of the design. Porches vary greatly, yet create an important relationship between the indoor and outdoor space. Porches, and alternatively porticos, define the entry to the residence. Placement of porches may be symmetrical, asymmetrical, wraparound, courtyard-oriented, or portico. A portico is a small covered walkway supported by columns that leads to the entrance of a building.

Many of the houses in the Grandview Historic District and in many neighborhoods throughout Wenatchee have porches. The prominent architectural styles, such as craftsman, prairie, bungalow and Queen Anne, included front porches in their design.

Porches enhance a neighborhood for many reasons. They offer a place for people to partake in the activity of the neighborhood. They also contribute to the safety of the neighborhood by being large enough for people to sit and observe the public life of their street. The intent of this section is to preserve existing porches and encourage restoration of porches that have been previously modified from their historic nature.

Policies - Wenatchee Urban Area Comprehensive Plan

CULTURAL AND HISTORIC RESOURCES ELEMENT

HISTORIC PRESERVATION - Preserve, maintain and honor the city’s significant historic resources.

Policy 2: Protect and enhance the aesthetic and economic vitality of historic buildings, structures, sites, districts and objects through the development and implementation of appropriate design guidelines.

Policy 7: Promote historic preservation to provide for the identification, evaluation, and protection of historic resources within the City of Wenatchee and preserve and rehabilitate eligible historic properties within the City for future generations.

HOUSING ELEMENT

MAINTENANCE & PRESERVATION - Preserve and enhance the value and character of neighborhoods by improving and extending the life of the existing housing inventory. Give special priority to the maintenance of historic properties and the retention of existing affordable housing stock.

Policy 1: Preserve and protect older neighborhoods that demonstrate continuing residential viability.

Policy 2: Encourage private reinvestment in homes and neighborhoods by providing information, technical assistance, and referrals to appropriate agencies and organizations.

V. ANALYSIS

WCC 13.09.010 Application review criteria. Review of an application and proposed development shall be governed by and be consistent with the fundamental land use planning policies and choices which have been made in the city's adopted comprehensive plans and development regulations.

Staff Analysis: With respect to the provisions of the Cultural and Historic Resource Element and the Housing Element of the Wenatchee Urban Area Comprehensive Plan, the applicant's proposal balances goals of each element. The proposal is being reviewed to be consistent with the adopted standards for the Grandview Historic District. It will assist in extending the usability of the existing house and demonstrating a private reinvestment by the landowner.

Grandview Historic District Preservation Handbook

General

Standards:

- 1) Original features and materials of existing structures shall be preserved through regular maintenance and upkeep.
- 2) Missing or deteriorated features shall be repaired when possible or replaced with like historic materials. Any missing or severely deteriorated features/elements shall be replaced based on documentation to match the missing or severely deteriorated features/elements.
- 3) Remodels, repairs, and modifications to existing structures shall be consistent with the overall architectural style, materials, and theme of the individual structure.
- 4) Existing materials that are not historic may be maintained or replaced when making repairs to the existing structure.
- 5) Non-historic and non-reversible modifications to existing structures shall not be allowed.
- 6) New primary structures shall be designed to complement the historic nature and character within the district and surrounding historically significant structures; individual new primary structures shall be of a consistent architectural design /style within themselves.
- 7) Do not introduce features of a new architectural style that does not exist in the district.

Options and Guidance:

- 1) Removing or correcting earlier, inappropriate repairs or additions is encouraged.
- 2) When original materials are not reasonably available considering time and expense, alternative materials may be used provided that they:
 - a. Demonstrate durability in this climate,
 - b. Have the ability to be repaired under reasonable conditions, and
 - c. Have the appearance of the historic materials being replaced.
- 3) The applicant should be aware that using alternative materials that are not of historic character and craftsmanship may:
 - a. Eliminate the property from the opportunity to receive Special Valuation,
 - b. Eliminate the opportunity for the property to be individually listed on the City of Wenatchee's Register of Historic Places, and/or
 - c. Require evaluation of the property by the Wenatchee Historic Preservation Board regarding the property's contributing status to the district.
- 4) The use of alternative materials may not be allowed on properties individually listed on the Wenatchee Register of Historic Places or for properties receiving Special Valuation.

Staff Analysis: The house is identified in the inventory to be a Tudor style residence. It is undetermined if the existing portico is an original feature, but it seems unlikely based on the style of the house and it is not shown in the footprint of the 1928 Sanborn map when the house was originally constructed. It would appear to staff that removal of the current portico would be appropriate and not be considered removing an original feature.

The proposed portico would be constructed to match the roof pitch of the house and be supported by two columns which is consistent with the style of porticos found in the neighborhood. The overall style of the porch will be consistent with the existing architect of the house and would be easy to remove in the future.

The applicants are proposing to pour a concrete patio with an arbor covering it to be attached to the proposed portico. The patio and arbor would function as a porch to the front of the house and provide a sitting area to enjoy viewing of public life on the street. Staff views the attachment of the arbor to the house to function similar to a porch to be appropriate and consistent with the general intent of the handbook.

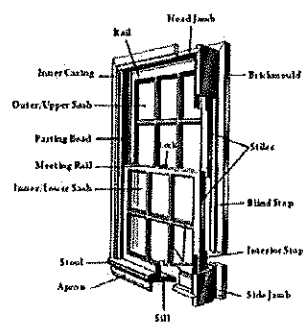
Window boxes are not addressed within the handbook, but is a common element found in the district. The proposed window boxes would be custom built and painted to match the house, and are a feature that are easily removable without damaging or altering the original structure.

Windows and Doors (visible from the street)

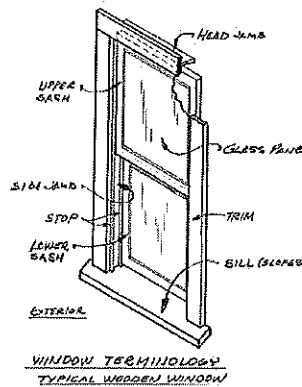
Standards:

- 1) Three-dimensionality shall apply to all windows; for purposes of historic windows, three-dimensionality refers to the setback of the sash from the face of the wall as depicted in the following figure.

Internal Window View



External Window View



- 2) When replacing or renovating windows, windows shall match the size, style, placement, and features of the original windows, including the number and placement of divided lights.
- 3) New windows shall reflect the window patterns seen in the neighborhood and on the existing structure, if applicable. Openings shall indicate floor levels and not be placed between floors. Retain vertically proportioned windows.
- 4) New or replacement doors shall be consistent with the original door features, size, placement, style, and maintain the appearance from the street.
- 5) If an exact match is not possible or feasible when replacing windows and to avoid irreversible damage, consider and incorporate all of a window's characteristics including the window's importance in the facade when selecting a replacement; particularly when using energy efficient windows. The characteristics to retain are the window's frame and finish, mullion and muntin configuration and profile, glass-to-frame ratio, and its frame depth, thickness, details, and three-dimensionality.
- 6) Horizontal sliding windows shall not be visible from the street.

Options and Guidance:

- 1) Storm windows are an encouraged alternative to replacement of windows.
- 2) Horizontal sliding windows may be placed on the side and rear of the structure when replacement is necessary.
- 3) Awnings over doors and windows are historically seen in the district. A structure featuring awnings may retain and/or replace awnings with similar historically appropriate materials, such as canvas. Plastic or vinyl awnings are discouraged.
- 4) When repair is not feasible, reuse of salvaged doors and windows from other (similarly styled) historic structures is encouraged.
- 5) When replacement is necessary and the original door features, style, and location cannot be maintained or salvaged doors cannot be found, the door location, shape, size and architectural features should still be consistent with those found in the district.
- 6) Please refer to the general section when proposing to use alternative materials to repair, rehabilitate, and replace windows, doors, or awnings.

Staff Analysis: The existing steel door is not original to the house. The applicant has proposed to replace this door with a salvaged solid mahogany door with vintage fixtures. The proposed door would be period appropriate and would match the pattern of divided lite windows on the house.

Porches:

Standards:

- 1) New front porches shall be large enough for people to sit and observe the public life of their street and neighborhood. Setbacks as described in the Site Design and Landscaping Section shall be adhered to.
- 2) New porticos shall only be allowed on appropriate historic styles; such as Colonial Revival. Setbacks as described in the Site Design and Landscaping Section shall be adhered to.
- 3) Porches and porticos shall orient the front of a house to the street and clearly identify the front door.
- 4) A porch or portico shall use similar materials to that of the primary structure.
- 5) Existing historic and proposed (style appropriate) porches and porticos shall not be enclosed.
- 6) Original porches and porticos shall not be removed from the primary façade and shall maintain the existing location, form, details and columns.

Options and Guidance:

- 1) The size of a porch should relate to the overall scale of the primary structure to which it is attached.
- 2) On structures where no evidence of a porch or portico exists, a new porch or portico may be considered that is similar in character to those found on other similar historic structures, if appropriate to the overall architectural style of the structure.
- 3) Where removal of a porch adds to the historic character of the main structure, it is encouraged.
- 4) New and/or enlargement of an existing porch or portico will likely require review by the board. Please check with city staff prior to proceeding with any changes.

Staff Analysis: The proposed portico and arbor appear they will project a little less than five feet from the front façade. Based on the aerial in GIS the house is setback approximately 25.5 feet from the front property line. Covered porches are permitted to project a maximum of four feet into the front yard setback of 25 feet. A site plan showing the setback from front property to the proposed portico and arbor will be required to verify that it is compliant with zoning. If the portico and arbor do not meet the setbacks they will need to be reduced to be compliant.

A portico is not a common feature on a Tudor; however, the applicant is proposing to match the style and materials of the house. The proposed portico will orient the front of the house to the street and identify the front door while providing shelter from the elements. The arbor and concrete patio will function similarly to a porch in providing a sitting area to view and enjoy the street.

VI. RECOMMENDATION

Staff is recommending approval/issuance of the Certificate of Appropriateness based on the application materials of record, staff analysis of applicable code and policies, and suggested conditions of approval. Proposed findings of fact and conclusions of law in support of this recommendation are identified below.

Draft Motion: I move to approve HP-17-10, a Certificate of Appropriateness for 926 Idaho Street based upon the findings of fact and conclusions of law, and conditions of approval contained within the December 6th, 2017 staff report.

Suggested Findings of Fact:

1. The subject property is located at 926 Idaho Street, Wenatchee, WA and is identified as Assessor Parcel Number: 22-20-10-586-545.
2. The applicant/owners are Michael and Sharon Stubblefield, 1208 Orchard Avenue, Wenatchee.
3. The subject property is a contributing property within the Grandview Historic District.
4. The building is a Tudor within the Grandview Historic District.
5. A complete application was submitted in accordance with Wenatchee City Code on October 16, 2017.
6. The application materials identify all the work to be accomplished and request a Certificate of Appropriateness for the proposal.
7. Appropriate notice was accomplished in accordance with Wenatchee City Code.
8. Other development requirements of the Wenatchee City Code are not waived by the issuance of a Certificate of Appropriateness.
9. Wenatchee Historic Preservation Board is empowered by Wenatchee City Code (WCC), Title 2 and Title 10 with the ability to hear and make decisions on matters relating to Historic Preservation within the City of Wenatchee, which includes but is not limited to issuing Certificates of Appropriateness for properties within the Grandview Historic District.
10. On December 6th, 2017, the Wenatchee Historic Preservation Board held a duly advertised public hearing on a request for a Certificate of Appropriateness regarding 926 Idaho Street, Wenatchee, WA.
11. Any Conclusion of Law that is more correctly a Finding of Fact is hereby incorporated as such by this reference.
12. The Historic Preservation Goal of the Cultural and Historic Resources Element of the City of Wenatchee Urban Area Comprehensive Plan states: "Preserve, maintain and honor the city's significant historic resources".
 - a. Policy 2: Protect and enhance the aesthetic and economic vitality of historic buildings, structures, sites, districts and objects through the development and implementation of appropriate design guidelines.
13. The applicant proposes to extend the existing portico three feet and replace the existing corbels with columns for support. The applicants are additionally purposing to attach an arbor to the new portico with a poured concrete pad underneath, add wood window boxes under the main floor windows, and replace the current nonhistoric steel door with a salvaged solid mahogany front door.

Suggested Conclusions of Law:

1. The Historic Preservation Board has been granted authority to render this Decision.
2. The proposal does not adversely alter the historic stylistic and architectural features of the subject property as may be visible to the surrounding properties or the District and provides for the reasonable use of the property.
3. The application is consistent with intent and purpose of the Grandview Historic District Preservation Handbook.
4. Any Finding of Fact that is more correctly a Conclusion of Law is hereby incorporated as such by this reference.
5. The application is consistent with the goals and policies of the Wenatchee Urban Area Comprehensive Plan.

Recommended Conditions of Approval:

1. The project application shall proceed consistent with the application materials submitted on October 16, 2017, except as modified below. The removal or alteration of any other historic material or distinctive architectural features must be avoided.
2. A building permit is required for the proposed work.
3. Any work beyond the scope of this Certificate of Appropriateness shall be reviewed by staff to determine its effect on the historic features of the structure. If staff determines that the new work affects historic features in a manner not approved (such as replacement of features not currently proposed), then an amendment to this certificate shall be obtained prior to resuming work.
4. Within 30 days of completion of work, the applicant shall provide pictures that document the work in compliance with this approved Certificate of Appropriateness.



CITY OF WENATCHEE

Historic Preservation Office

Community and Economic Development Department
Public Services Center
1350 McKittrick, Suite A
Wenatchee, WA 98801

OCT 16 2017

Application for Certificate of Appropriateness or Waiver of Certificate HP-17-10

Please include all of the following information with your application. Insufficient application materials will result in a delay in processing your application. If you have any questions regarding application requirements or standards for properties listed on the Wenatchee Register of Historic Places or located within the Grandview Historic District, please call the Historic Preservation Office at (509) 888-3200.

Property Information

Building/Property Name (if applicable):
Building/Property Address: 926 IDAHO STREET, WENATCHEE, WA. 98801
Property Owner's Name(s): MICHAEL & SHARON STUBBLEFIELD
Mailing Address: 1208 ORCHARD AVE. WENATCHEE, WA. 98801
Contact No.: (509) 669-2707 E-mail Address: ORANGE @ NISI . NET
Applicant Name (if different from owner):
Mailing Address:
Contact No.: E-mail Address:

Type of Work for Requested Certificate of Appropriateness or Waiver (select all that apply):

- Exterior remodeling, Interior remodeling, Change of use, New construction, Demolition, Relocation, Signs/awning/lighting

Estimated cost of proposed work: \$10,000

Application Requirement Checklist

- Project narrative and description, Construction drawings, Site plan/location map, Photographs of existing conditions, Paint samples, finish samples, or product information

I hereby certify that I am the owner of the property or that the proposed work is authorized by the owner of record and I have been authorized by the owner to make this application as his/her authorized agent.

Dependent on the work being proposed, the certificate may be approved by staff within 14 days; however, some will require review and approval from the Historic Preservation Board. If the application is required to be reviewed by the board I understand that a public hearing notice will be published and sent to surrounding property owners and that the property will be posted as well. The Historic Preservation Board meets on the first Wednesday of every month at Wenatchee City Hall, located at 129 S. Chelan Avenue at 5:30 pm. The completed application must be submitted no longer than the 15th day of the month to be placed on the agenda for the next meeting. Once a Certificate of Appropriateness is obtained, it may be necessary to apply for a building permit.

Signature of Owner or Authorized Agent: [Signature] Date: SEPT. 16. 17

Re: Exterior Renovations of 926 Idaho St., Wenatchee WA

Owners: Mike & Sharon Stubblefield
1208 Orrchard Ave
Wenatchee WA 98801

509-669-2707 orange@nwl.net

We are proposing to add the following improvements to the front exterior of the house:

- 1) Add an additional 7'x10' concrete slab to act as a front porch/sitting area. This slab will join the existing front step, be at the same height and run east across the front of the house. It will be landscaped in front and on the sides.
- 2) Construct, above the porch/sitting area, an arbor which will run the length of the slab and be attractively attached to the portico. This arbor will be built of wood and will be painted to match the trim (BM White Dove). This will be open to provide light, but will help screen anyone sitting on the porch and soften the flat appearance of the house.
- 3) We propose to add an additional 3' to the existing portico. The current portico is too small to shelter the front entry and visually adds no forward dimension. The house is very flat. It will be built of wood and match the pitch of the roof with new front columns rather than corbels to add strength and further enhance the front door. We want to open the portico and not enclose the pitched area so that the front door will be more visible, open and welcoming. The current portico appears to sit directly on top of the front door and pinches the head-room for so tall a house. Finally, we would hang a beautiful vintage porch light from the peak, and abandon the wall sconce.
- 4) Replace the current steel front door with a salvaged solid mahogany front door, complete with vintage lock set, knocker, and jamb. This door is beautiful, period appropriate, and it repeats the pattern of the divided light in the windows. It seems greatly preferable to the current door and its color will be

wonderful with the new paint.

5) We want to add two custom window boxes under the front main floor windows. Custom built of wood and painted to match the trim.

We have already painted the house. We didn't know we had to submit paint colors.

I hope you find the new look a vast improvement upon the old scheme which was busy, disjointed distracting.

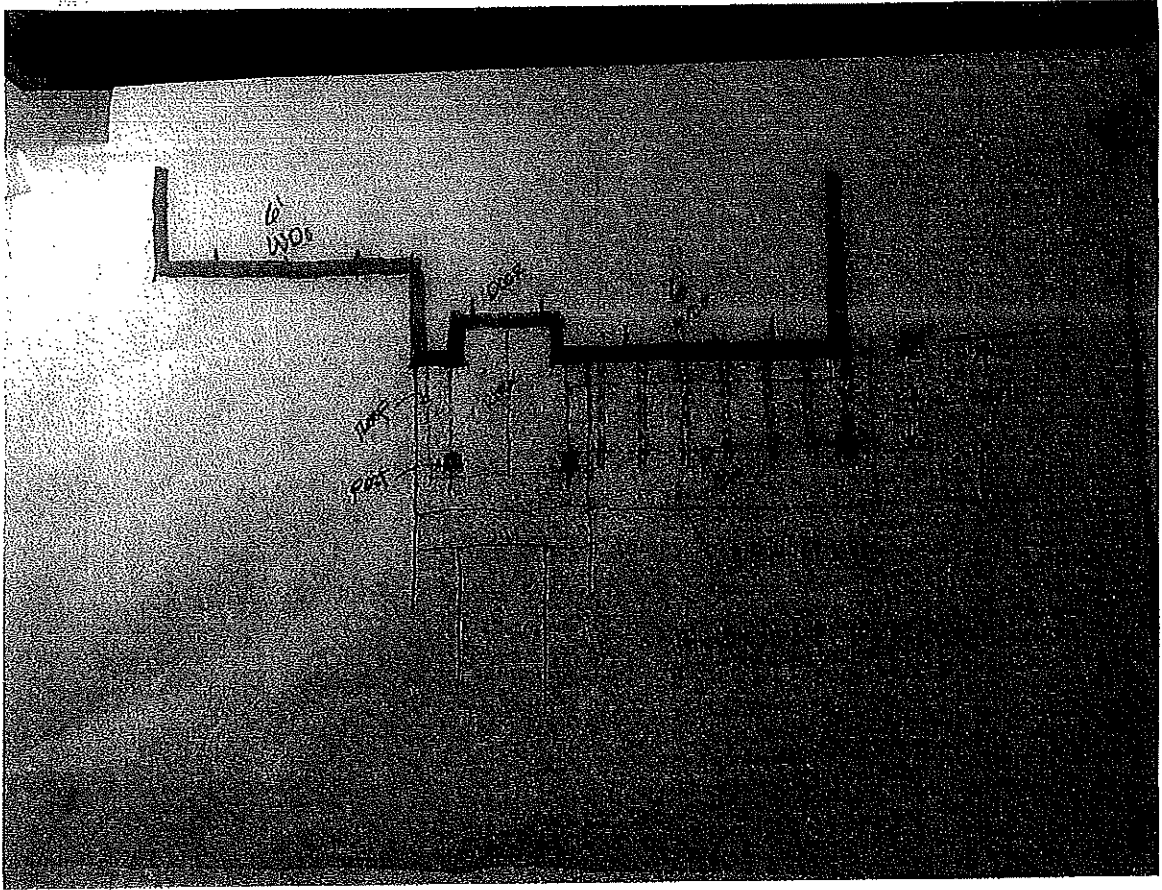
Our goals is to improve this little house in a way that it will not APPEAR to have been modified.

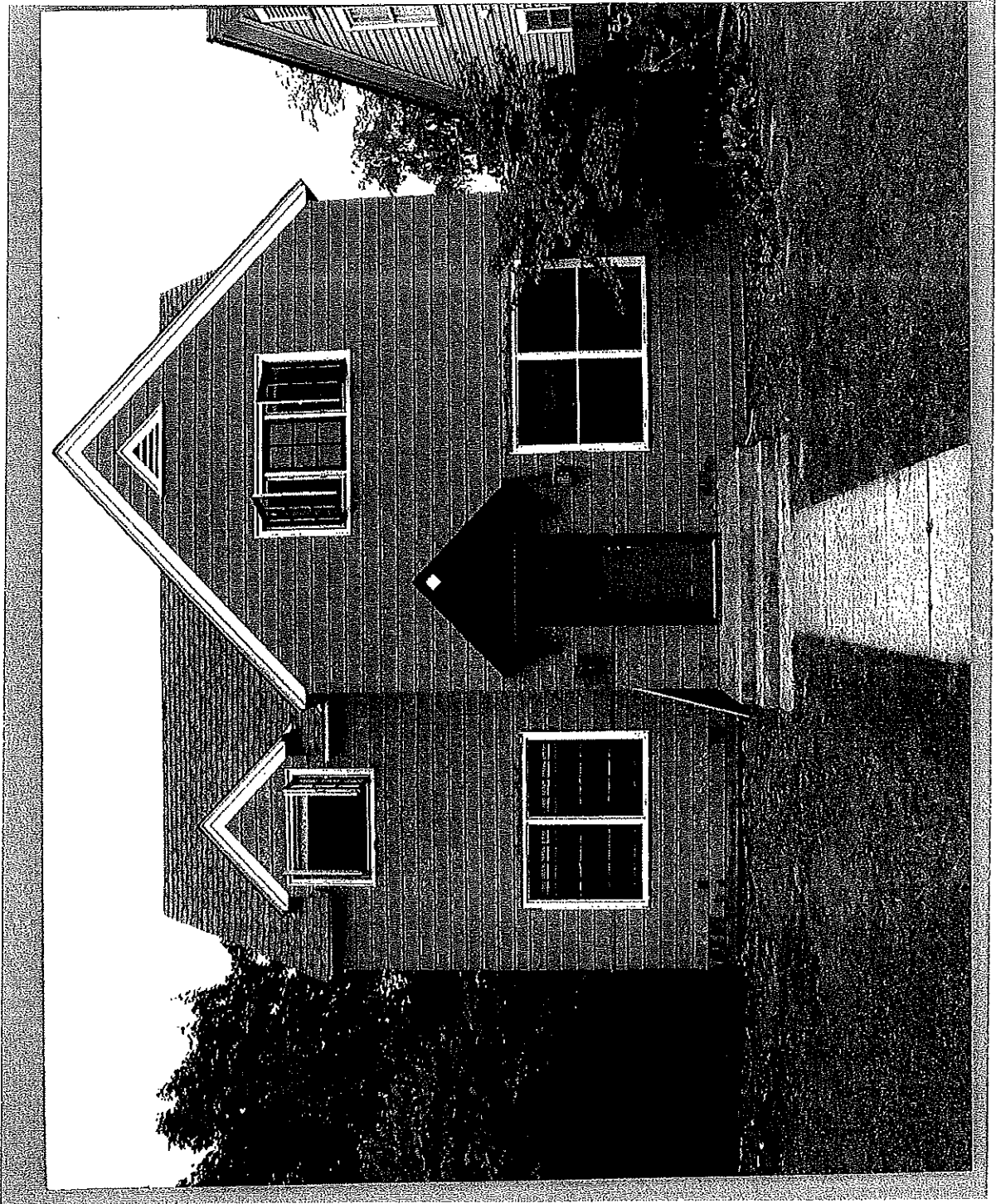
Rather it will mitigate the design flaws that cause it to jut up into the sky and present a flat and uninteresting front facade. It has never really looked comfortable or settled onto the property. Also the lack of any outdoor space in the front south-facing yard seems a waste.

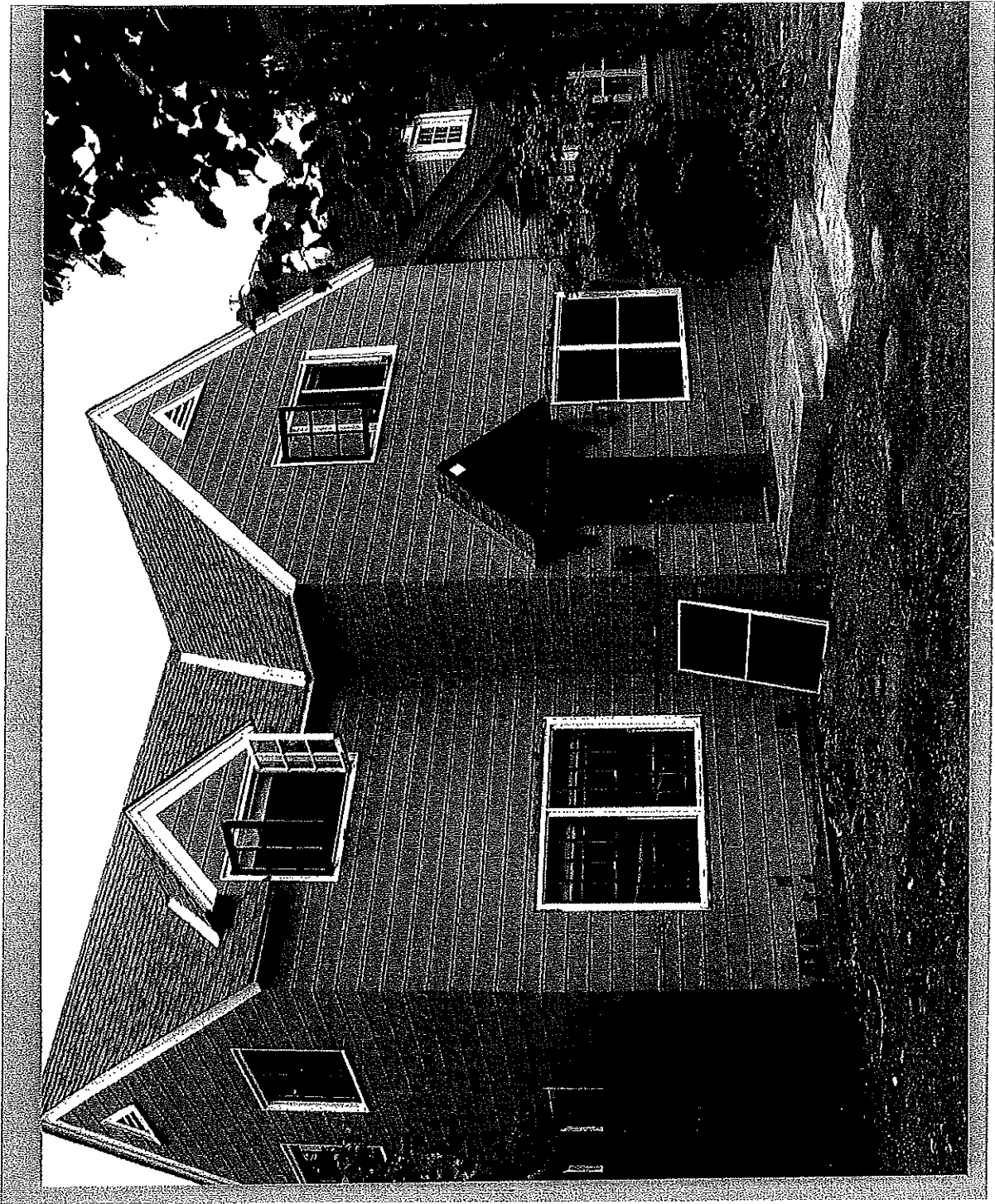
We think all these elements will improve this property while maintaining a cohesive look with the surroundings.

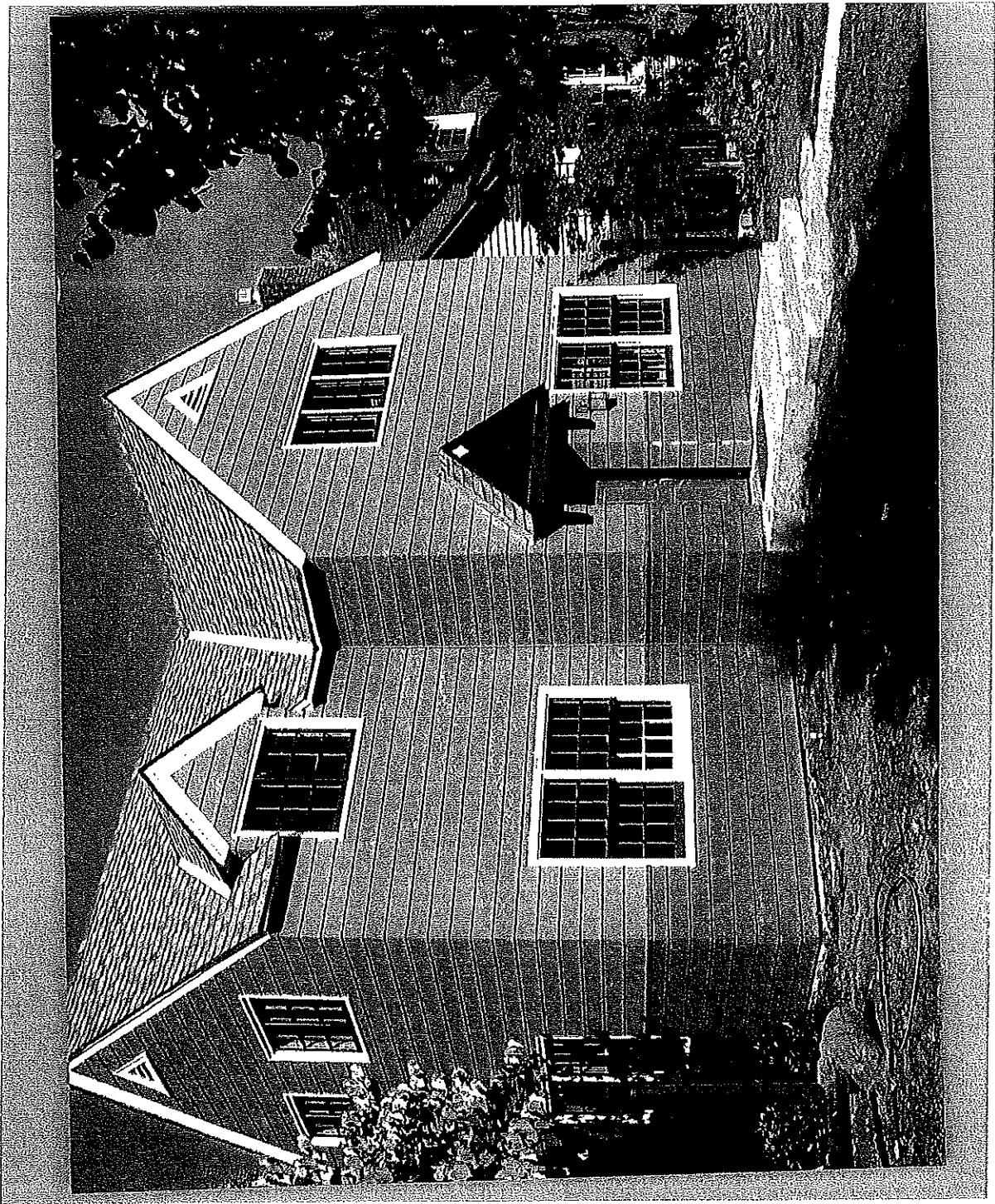
Mike & Sharon Stubblefield

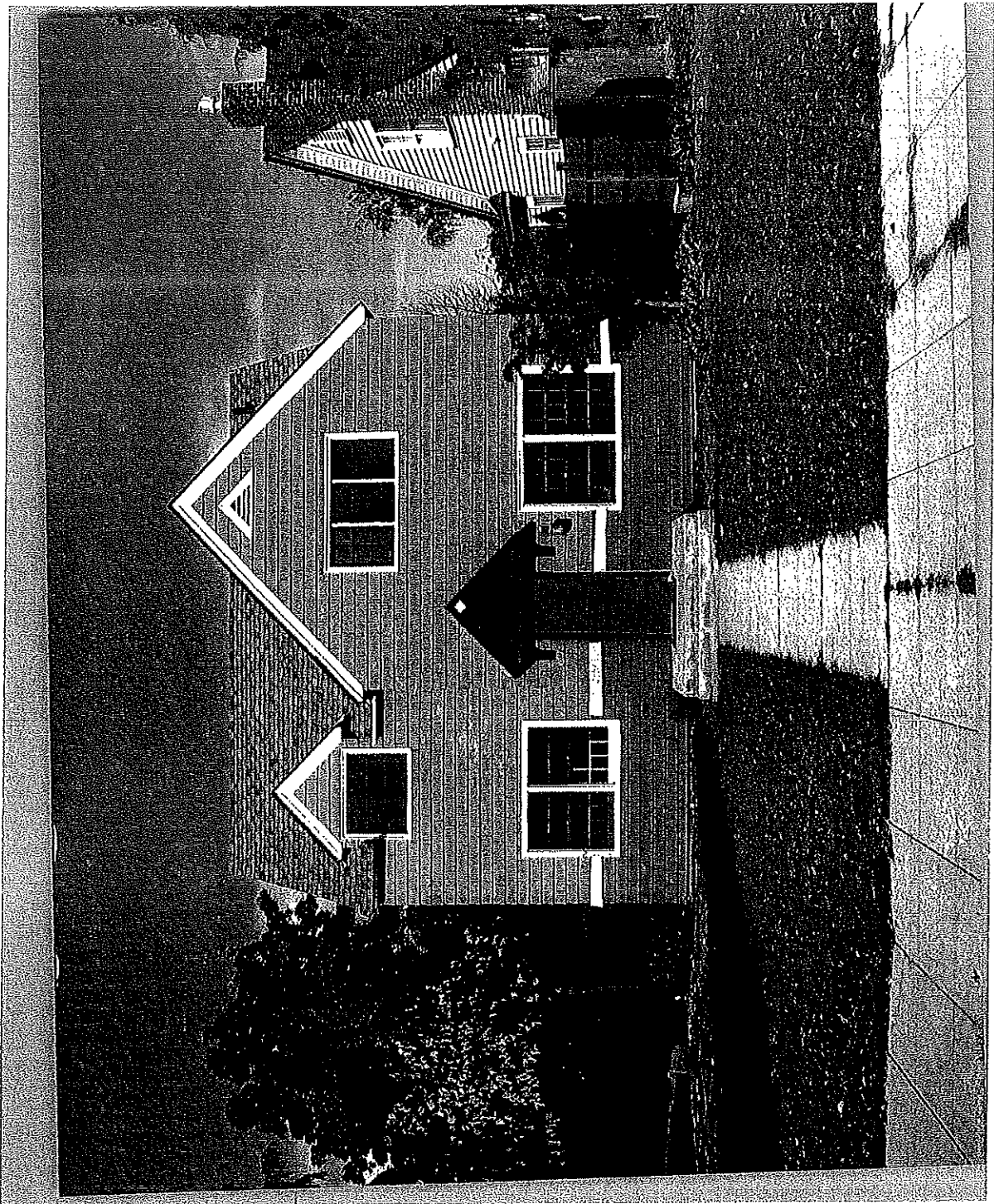












10/16/2017

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STAFF REPORT
HP-17-11, 21 S. CHELAN AVENUE

TO: Wenatchee Historic Preservation Board
FROM: City of Wenatchee Community Development Staff
RE: Certificate of Appropriateness for 21 S. Chelan Avenue
DATE: December 6th, 2017

I. SUMMARY OF REQUEST

Description of Request:

The City of Wenatchee has received an application for a Certificate of Appropriateness to convert the existing building from a funeral home into an office building. The work would include a restoration of the exterior shell (cleaning, repointing, and sealing the masonry, window replacement with new trim inside and out, repair roofing, and upgrading main entrance for universal access, construct new exit stairway, repair roofing, reframe garage roof for walkway and patio); and interior work (excavation and installation of new elevator, demolition of existing walls and installation of new structural elements, buildout attic for work space, and installation of new mechanical, electrical, and plumbing). The intent of the construction approach to the project is to continue the historic recognition and connection with the community; give a renewed consistency of appearance that was lost from work done earlier; utilize new materials that have significantly improved long-term life-cycle and low maintenance requirements; and meet current codes and regulations.

During a site visit with the applicant it was mentioned that there may be interest in removing the steps and ramps leading to the front porch and installing an iron railing on the porch. Staff would like to include this into the project description for review by the board with this application. The porch would function as sitting area for employees and clients. The main entrance is proposed to be relocated to the north façade adjacent to the parking lot.

II. GENERAL INFORMATION

Applicant: Mark Seman, MJ Neal Associates Architects, PLLC
PO Box 1945
Wenatchee, WA 98807

Owner: KJD Investments, LLC
11 Spokane Street, Suite 102
Wenatchee, WA 98801

Department Review: City of Wenatchee Community Development Staff

Location and/or legal description: The subject property is located at 21 S. Chelan Avenue, Wenatchee, WA and legally described as Lots 23-28, Block 14, Amended Great Northern Plat of Wenatchee, Chelan County, Washington, according to the plat thereof recorded in Volume 1 of Plats, page 15. The parcel is identified as Assessor's Parcel Number: 22-20-03-590-752.

Zoning District: Central Business District (CBD) and Historic/entertainment overlay (HEO)

Comprehensive Plan Designation: CBD and HEO

Application Date: An application was submitted on November 15, 2017 and determined complete on November 17, 2017.

History: Built in 1906, this large, two-story, Georgian Revival style mansion was built by Conrad Rose who was a very influential businessman in Wenatchee and founder of the Wenatchee Produce Company. He used the building as his residence until 1924. The mansion was sold to David Jones in 1924. Jones converted the residence into a funeral home. In 1930, Jones added a chapel, office space, and a garage to the original building, retaining the services of Lloyd Corle as contractor for the project and architect Everett M. Hinshaw for the design of the interior. (Source: Historic Property Inventory Form, State of WA, Department of Community Development Office of Archaeology). Jones and Jones Funeral Home moved out of the building in 2007 and it has been remained vacant.

Physical Appearance: Originally built as a residence, this two-story, Greek Revival style building has housed a funeral home since 1924. Oriented to the west, the wood-framed, brick-clad building is irregular in plan and rises from a poured concrete foundation. It is situated mid-block on the east side of Chelan Avenue. The building has been expanded twice, with the first addition more than doubling its size. A chapel, office space, garage, and apartment(s) were added to the original building. One-story wings were added to the north and south sides. A five-car garage and apartment were added to the northeast. The 1930 additions were designed to be compatible with the original design and are the same style as the original building.

The building has a hipped roof sheathed in fishscale shingles, with five gabled dormers and three brick chimneys. Features exhibiting the Greek Revival style include the portico with fluted Corinthian columns, fluted Corinthian pilasters, and a projecting cornice with a dentil course and modillions. Window styles vary but include twelve-over-one, double hung, wood sash; fixed windows with diamond-shaped panes; and double-hung wood sash with diamond patterned upper pane over lower blank pane. The main entrance on the west façade features a wood frame double-door with upper glass panel framed by a broken pediment door surround. Secondary entrances are located on the north side. (Source: Historic Property Inventory Form, State of WA, Department of Community Development Office of Archaeology).

Historic Photos 1-3:

Photo 1 -



Photo 2 –

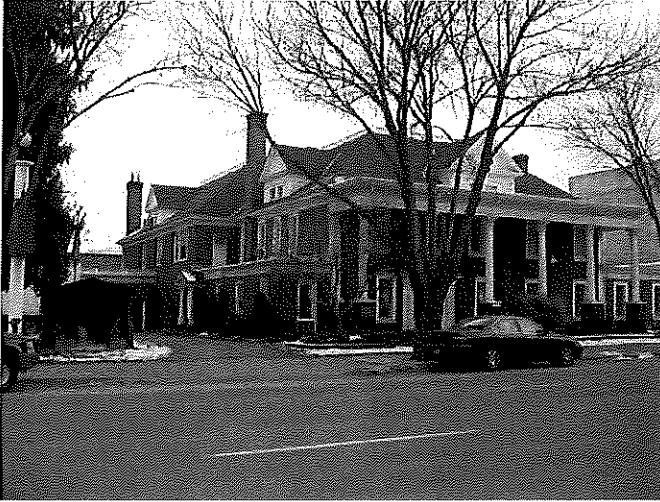
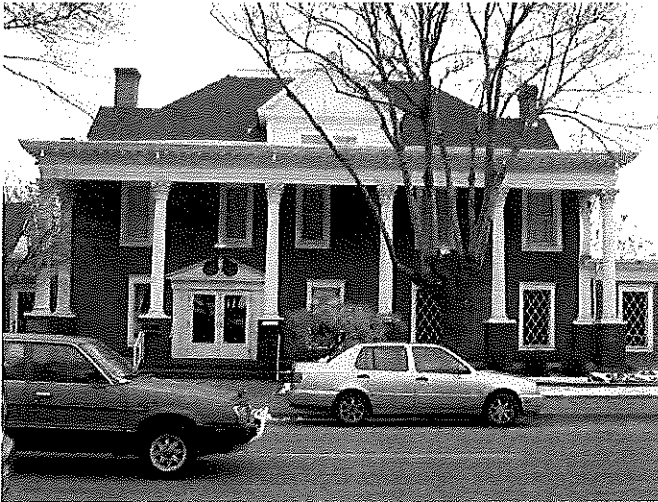


Photo 3 –



III. NOTICE AND PUBLIC COMMENT

Notice of application and the December 6th, 2017 hearing before the Wenatchee Historic Preservation Board was posted on the subject property, mailed to surrounding property owners, and published in the newspaper in accordance with the requirements of Title 13, Wenatchee City Code (WCC).

IV. APPLICABLE POLICIES AND ANALYSIS

Requirements.

WCC 2.36.150 Review required. No person shall change the use, construct any new building or structure, or reconstruct, alter, restore, remodel, repair, move, or demolish any existing property on the city of Wenatchee register of historic places or within an historic district on the city of Wenatchee register of historic places without receipt of a certificate of appropriateness, or in the case of demolition, a waiver, as a result of the review.

The review shall apply to all features of the property, interior and exterior that contribute to its designation and are listed on the nomination form.

Staff Analysis: The applicant has submitted a request for a certificate of appropriateness to satisfy the review requirement. The proposed work would include a restoration of the exterior shell and interior work to convert the spaces on all levels to office spaces.

Authority

WCC 2.36.170(3) Board Review. All applications which do not qualify for administrative staff review in subsection (2) of this section shall be subject to review by the historic preservation board as a Type III application pursuant to WCC 13.09.050.

The board shall review the proposed work according to the design review criteria established in rules, and shall take action on each application at a public meeting of the board. The board's recommendations shall be in writing and shall state the findings of fact and conclusions relied upon in reaching its decision. Any conditions identified in this review process shall become conditions of approval of any associated development permits granted. A certificate of appropriateness shall be awarded according to standards established in the board's rules. The board's recommendations and, if awarded, the certificate of appropriateness shall be transmitted to the building or zoning official. If a certificate of appropriateness is awarded, the building or zoning official may then issue any associated permit if it is determined consistent with the certificate of appropriateness awarded.

Staff Analysis: The proposed work would be to renovate, rehabilitate, and replace historic features on the exterior of the building. The applicant is purposing an extensive renovation to the interior of the building to create new office spaces. The interior spaces are not specifically listed on the nomination form; however, the board will review and make a decision on all elements of the application.

Process

WCC 13.09.050 Type III quasi-judicial review of applications.

(1) Type III quasi-judicial review shall be used when the development or use proposed under the application requires a public hearing before a hearing body which will generally be the historic preservation board or the hearing examiner. This type of review includes, but is not limited to, the following:

- (g) Certificates of appropriateness or waivers.

Staff Analysis: A public hearing with the Historic Preservation Board is being held on December 6th, 2017 to review the application.

Review Criteria

Wenatchee Historic Preservation Board Rules and Procedures Criteria for Design Review

The Secretary of the Interior has established the following Standards to be considered during the Design Review process:

1. Every reasonable effort shall be made to provide a compatible use for an historic property which requires minimal alteration of the building, structure, or site and its environment, or to use an historic property for its original intended purpose.
2. The distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.
3. All buildings, structures, and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier appearance shall be discouraged.

4. Changes which may have taken place in the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right and this significance shall be recognized and respected.
5. Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site shall be treated with sensitivity.
6. Deteriorated architectural features shall be repaired rather than replaced, whenever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplication of features, substantiated by historical, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
7. The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.
8. Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to, any project.
9. Contemporary design for alterations and additions to existing properties shall not be discouraged when alterations and additions do not destroy significant historical, architectural or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood, or environment.
10. Wherever possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

To achieve the above standards and to safeguard the heritage of the City of Wenatchee as called for in the Historic Preservation Ordinance 3048, a two part evaluation is necessary.

1. The identification of those materials, features and combinations of features that confers significance to properties or districts on the Wenatchee Register of Historic Places.
2. Assessing the potential impact of rehabilitation work necessary for efficient contemporary utilization of the property.

Staff Analysis: The original use of the building was as a residence until 1924 when it was converted into a funeral home. The addition and garage was added in 1930 to include six apartments in the main building and one over the garage. The building was continually used as a funeral home until 2007 when it was vacated and has been empty since. The building is located in Wenatchee's downtown and is zoned for commercial uses. The applicant is proposing to renovate the building to be used as office and corporate headquarters for a tech company. The use appears to be compatible as the building has housed a commercial business for the majority of its existence and is located within the commercial core of the city.

The applicant has provided an extensive narrative that details are proposed details the approach that would be taken to rehabilitating and renovating the exterior and interior elements of the building. The applicant's approach would maintain the character and significant features while unifying the visual cohesion of architectural elements to include new replacement windows utilizing a pattern of divided lites in the upper sash and single pane in the lower sash. Other architectural features that are deteriorated such as the cornice, plaster capitals, and porch soffit would be recreated with foam plastic trim. None of these proposed alterations would create an earlier appearance as they are existing on the building and based on the original features of the building.

The windows and wood work existing on the building has deteriorated to a point where it is more practical to replace with modern materials that have a longer life span and maintain the character of the building; the

application proposes to clean, repoint, and seal the existing brick façade. The brick would be cleaned with a non-abrasive cleaners and pressure washer to avoid damaging the brick.

The applicant is proposing some contemporary elements to be added to the building which include new open metal stairs to the second floor of the garage, a new enclosed ramp and steps into the garage level and main floor, a new roof top connector between the mansion and second floor of the garage which is an open flat roof currently. The enclosed ramp and steps, and roof top connector would be constructed of glass and metal which would allow the public to see through these new elements so that the mansion remains visible. Additionally, aluminum storefronts are proposed to replace the existing nonhistoric garage doors to match the new contemporary elements. It appears the proposed new elements meet the intent of the standard above as they will not destroy the historical significance of the building and would allow the historic walls of the building to be viewed. The new additions would also be able to be removed without altering the original building.

Based on the review of the application with the above standards staff's evaluation is that the historically significant elements of the building would be maintained by recreating and replacing the significant architectural features which make the building recognizable to the community.

The applicant also demonstrates how the renovation is necessary for contemporary use of the building as it has been vacant for a decade and the conversion to an office building is compatible with its location in the downtown core and will not impact the historic exterior of the building.

Policies - Wenatchee Urban Area Comprehensive Plan

CULTURAL AND HISTORIC RESOURCES ELEMENT

HISTORIC PRESERVATION - Preserve, maintain and honor the city's significant historic resources.

Policy 2: Protect and enhance the aesthetic and economic vitality of historic buildings, structures, sites, districts and objects through the development and implementation of appropriate design guidelines.

Policy 7: Promote historic preservation to provide for the identification, evaluation, and protection of historic resources within the City of Wenatchee and preserve and rehabilitate eligible historic properties within the City for future generations.

Staff Analysis: The rehabilitation of the building will preserved it for future generations and contribute to the economic wellbeing of Wenatchee's downtown by activating the space in a building that has sat vacant for over a decade.

V. RECOMMENDATION

Draft Motion: I move to recommend approval of HP-17-11, a Certificate of Appropriateness for 21 S. Chelan Avenue based upon the findings of fact, conclusions of law, and conditions of approval contained within the December 6th, 2017 staff report.

Suggested Findings of Fact:

1. The subject property is located at 21 S. Chelan Avenue, Wenatchee; and identified as Assessor's Parcel Number: 22-20-03-590-752.
2. The owner is KJD Investments, LLC, 11 Spokane Street, Suite 102, Wenatchee, WA 98801.
3. The applicant is Mark Seman, MJ Neal Associates Architects, PLLC, PO Box 1945, Wenatchee, WA 98807.
4. A complete application was submitted in accordance with Wenatchee City Code on November 15, 2017.
5. The application and supporting materials do identify the work to be accomplished.

6. The subject property is zoned within the Central Business District (CBD) and Historic entertainment overlay (HEO).
7. The subject property is identified as being listed on the Wenatchee Register of Historic Places.
8. Other development requirements of the Wenatchee City Code are not waived by the issuance of a Certificate of Appropriateness.
9. Wenatchee City Code Section 2.36.170(3) Board Review. All applications which do not qualify for administrative staff review in subsection (2) of this section shall be subject to review by the historic preservation board as a Type III application pursuant to WCC 13.09.050.
10. On December 6th, 2017, the Wenatchee Historic Preservation Board held a duly advertised public hearing on a request for a Certificate of Appropriateness regarding 21 S. Chelan Avenue, Wenatchee, WA.
11. The Historic Preservation Goal of the Cultural and Historic Resources Element of the City of Wenatchee Urban Area Comprehensive Plan states: "Preserve, maintain and honor the city's significant historic resources".
12. Policy 2: Protect and enhance the aesthetic and economic vitality of historic buildings, structures, sites, districts and objects through the development and implementation of appropriate design guidelines.
13. Policy 7: Promote historic preservation to provide for the identification, evaluation, and protection of historic resources within the City of Wenatchee and preserve and rehabilitate eligible historic properties within the City for future generations.
14. The applicant is proposing to rehabilitation the exterior shell and interior work to convert the spaces on all levels to offices and headquarters for a tech company.
15. Any Conclusion of Law that is more correctly a Finding of Fact is hereby incorporated as such by this reference.

Suggested Conclusions of Law:

1. The Historic Preservation Board has been granted authority to render this Decision.
2. The proposal does not adversely alter the historic stylistic and architectural features of the subject property.
3. The application is consistent with Wenatchee Historic Preservation Board Rules and Procedures Criteria for Design Review and the Secretary of Interior Standards. The application is consistent with the goals and policies of the Wenatchee Urban Area Comprehensive Plan.
4. Any Finding of Fact that is more correctly a Conclusion of Law is hereby incorporated as such by this reference.

Recommended Conditions of Approval:

1. The project application shall proceed consistent with the application materials submitted on November 15, 2017, except as modified below. The removal or alteration of any other historic material or distinctive architectural features must be avoided.
2. A building permit is required for the proposed work.
3. The applicant and owner are encouraged to seek salvage opportunities for historic material that are proposed to be removed.
4. Any work beyond the scope of this Certificate of Appropriateness shall be reviewed by staff to determine its effect on the historic features of the structure. If staff determines that the new work affects historic features in a manner not approved (such as replacement of features not currently proposed), then an amendment to this certificate shall be obtained prior to resuming work.
5. Within 30 days of completion of work, the applicant shall provide pictures that document the work in compliance with this approved Certificate of Appropriateness.



Historic Preservation Office
 Community and Economic Development Department
 Public Services Center
 1350 McKittrick, Suite A
 Wenatchee, WA 98801

Application for Certificate of Appropriateness or Waiver of Certificate

Please include all of the following information with your application. Insufficient application materials will result in a delay in processing your application. If you have any questions regarding application requirements or standards for properties listed on the Wenatchee Register of Historic Places or located within the Grandview Historic District, please call the Historic Preservation Office at (509) 888-3200.

Property Information

Building/Property Name (if applicable): CONRAD ROSE MANSION
 Building/Property Address: 21 S. CHELAN AVENUE
 Property Owner's Name(s): KJD INVESTMENTS, LLC (DENTON MEIER, PARTNER)
 Mailing Address: 11 SPOKANE STREET, STE. 102 WENATCHEE, WA 98801
 Contact No.: 509-679-1177 E-mail Address: DENTON@FIREFLY.MS
 Applicant Name (if different from owner): _____
 Mailing Address: _____
 Contact No.: _____ E-mail Address: _____

Type of Work for Requested Certificate of Appropriateness or Waiver (select all that apply):

- | | | |
|---|---|---|
| <input checked="" type="checkbox"/> Exterior remodeling | <input checked="" type="checkbox"/> Interior remodeling | <input checked="" type="checkbox"/> Change of use |
| <input checked="" type="checkbox"/> New construction | <input checked="" type="checkbox"/> Demolition | <input type="checkbox"/> Relocation |
| <input type="checkbox"/> Signs/awning/lighting | | |

Estimated cost of proposed work: \$2.4M

Application Requirement Checklist

- A project narrative and description. Attach a detailed and typewritten description of the activity or activities you are proposing. List all exterior and/or interior features to be removed, replaced or added, and explain changes. Include the quantities, dimensions, and location of elements such as signs and lighting. Describe how all work is to be completed.
- Construction drawings for building additions, new buildings, or new elements to the building (i.e. deck, porch).
- Site plan/location map and scaled elevation drawings (for any additions or new construction).
- Photographs of existing conditions.
- Paint samples, finish samples, or product information as applicable.

I hereby certify that I am the owner of the property or that the proposed work is authorized by the owner of record and I have been authorized by the owner to make this application as his/her authorized agent.

Dependent on the work being proposed, the certificate may be approved by staff within 14 days; however, some will require review and approval from the Historic Preservation Board. If the application is required to be reviewed by the board I understand that a public hearing notice will be published and sent to surrounding property owners and that the property will be posted as well. The Historic Preservation Board meets on the first Wednesday of every month at Wenatchee City Hall, located at 129 S. Chelan Avenue at 5:30 pm. The completed application must be submitted no longer than the 15th day of the month to be placed on the agenda for the next meeting. Once a Certificate of Appropriateness is obtained, it may be necessary to apply for a building permit.

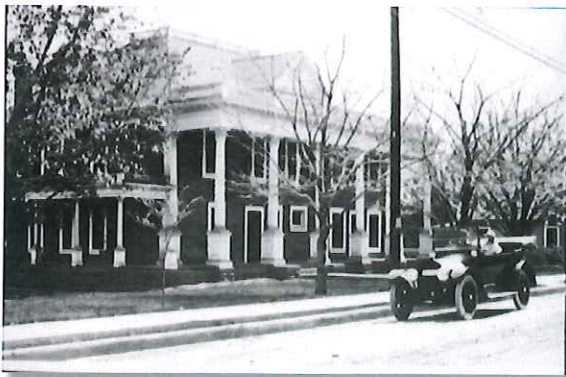
Signature of Owner or Authorized Agent:  Date: 11/15/2017

The Mansion

Built in 1906, this large, two-story, Georgian Revival style mansion was built by Conrad Rose who was a very influential businessman in Wenatchee and founder of the Wenatchee Produce Company. He used the building as his residence until 1924. The mansion was sold to David Jones in 1924. Jones converted the residence into a funeral home. In 1930, Jones added a chapel, office space, and a garage to the original building, retaining the services of Lloyd Corle as contractor for the project and Everett M. Hinshaw for the design of the interior. Jones and Jones Funeral Home occupied the building until about 2005, when it was purchased by Alderwoods, Inc.. It was purchased by the partners of the technology companies Firefly, LLC and Legwork, LLC in 2017. They plan on moving their companies into the remodeled building in 2018.

Originally built as a residence, this two-story, Greek Revival style building has housed a funeral home and residential apartments since 1924. Oriented to the west, the wood-framed, brick-clad building is irregular in plan and rises from a poured concrete and rubble foundations. It is situated mid-block on the east side Chelan Ave. The building has been expanded twice, with the first addition more than doubling its size. A chapel, office space, garage, and apartment were added to the original building. One-story wings were added to the north and south sides. A five-car garage and apartment unit were added to the northeast. The 1930 additions were designed to be compatible with the original design and are the same style as the original building. An expansion to the chapel followed around 1960.

The building has a hipped roof sheathed in fish scale shingles, five gabled dormers and three brick chimneys. Features exhibiting the Greek Revival style include the portico with fluted Corinthian columns, fluted Corinthian pilasters, and a projecting cornice with a dentil course and modillions. Window styles vary but include twelve-over-one, double-hung, wood sash; fixed windows with diamond-shaped panes; and double-hung wood sash with diamond-patterned upper pane over lower blank pane. The main entrance on the west facade features a wood-frame double-door with upper glass panel framed by a broken-pediment door surround. Secondary entrances are located on the north side.



NW corner of the Mansion (c1914)



NW corner of the Mansion (c2006)

Historic Preservation Strategies

The new owners of the Mansion understand that they are making history by preserving history – and it is their desire to be responsible for a high-quality renovation to the Conrad Rose mansion and allow it to flourish another 100 years.

The building needs to be adapted to meet a new level of function for their high-tech business operations. Physical improvements and changes that are required will allow the Rose mansion to meet the demands of today's business and technology needs. In addition, the renovation needs to meet existing codes and regulations, which have drastically changed since the Mansion was first built and even since it was last operational.

To begin this process the team had to settle on a point of departure - to define how we would approach the historic preservation of this landmark and guide us on the myriad decisions to be made. Everyone's desire is to preserve the historic nature of the Rose mansion. We needed to ask ourselves, "Where is the history we want to preserve?" After much discussion, the team found our desire is to preserve the exterior character of both the original 1906 Conrad Rose house and the 1929 Jones & Jones addition.

Through the course of previous remodels, the architectural styles and language have been muddled. Obvious are the muntin patterns of the windows on the west façade. They are an eclectic mix that has no cohesion or apparent logic - as evidenced by the following photograph. One can readily see the variety of window styles on this street-facing façade.



Varied muntin (grid) pattern of windows

There are also the three classical orders of columns on the building –Corinthian columns and pilasters at the west porch and building corners at the alley; Ionic columns on the southern portico and Doric columns on the northern portico.



Corinthian pilaster

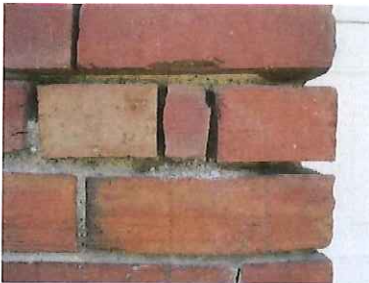
Ionic column

Doric column

So, our decision-making used the basic notion of selecting a “period of significance” to not only preserve the history of the Mansion, but restore the character of the Mansion’s exterior to one with visual and historical cohesion and a logic.

Exterior Work

Since the public’s greatest awareness and exposure to the Mansion is from its exterior skin, the team has felt a strong need to keep the envelope intact and be sensitive to any changes or alterations to it. The work on the exterior will be in the forms of restoration, repair, replacement, and addition.



Eroded mortar to be repointed



Mineral deposits on brick



Iron stains on brick

Restoration of the existing masonry will be done by using non-abrasive cleaners with detergents and pressure washing to remove stains, moss and mineral deposits. There are multiple locations where the natural elements or man-caused problems are evident. Roof drainage, irrigation water, moss & algae, and other issues have caused damage or simple discoloration that will be remedied with a thorough cleaning.

Tuck-pointing will follow-up the masonry cleaning. The repointing will require a handcrafted approach to identify and restore damaged areas, color-matching the existing and match the mix design to prevent brick damage. While it is estimated that about 10% of the bricked area is currently affected, the pressure washing will likely remove additional loose mortar.

After the mortar from repointing has had time to cure, a clear penetrating sealer will be applied to the entire masonry walls to provide protection from detrimental weather (snow & rain) and environmental effects of freeze/thaw, de-icers and other chemical agents.



Recessed into rough opening



A variety of window styles



Mix of muntins

The original windows are all wood. The Rose mansion seems to have had painted fir or pine interiors and exteriors. The Jones & Jones addition used mahogany interior and fir exterior windows. The exterior

wood has been painted and all is in need of serious maintenance, after years of neglect. Some of the interior mahogany wood is finished clear and some has been painted.

There are two installation methods for the original windows. The Rose mansion has windows recessed, with a sill and apron, and exterior casing trim is applied to the face of the surrounding brick. The Jones & Jones addition has mostly windows recessed into the masonry rough opening, with brickmould casing and a masonry sill.

To avoid the common up-keep cycle of deferred maintenance, a run-down look, followed by fresh paint and rejuvenation, the team proposes to replace the windows with either an aluminum clad or fiberglass framed window. Both types of windows come with factory finished exteriors and factory primed or painted interiors. And because the factory finishes are high quality, there are extended finish warranties for up to 30-years.

The proposed replacement of all windows with new energy efficient ones will provide a consistent rectangular muntin grids that is dominate the all faces of the building (except for the west façade, as mentioned earlier.) Typically, the grids are a 12-over-1 or 9-over-1 pattern, depending upon the size of the window. There are also 8-over-1, 6-over-1, and 1-over-1 patterns. Our intention is to follow this pattern of rectangular “divided lite” upper sash with a single lite below.

Because of inherent difficulties with altering the window installation method and causing changes to the historic appearance of the building, the team has chosen to stay with the existing varied trim conditions. Replacement windows will in keeping with the windows they replace (except for grid patterns mentioned above) – those with face trim will keep face trim and those with brickmould will be replaced in like fashion.

At the south wall of the lower level, we propose extending the sill of two existing windows down to floor level. This is a means to provide greater daylight into that area and also in anticipation of creating access out of the basement to a future car parking plaza –giving the programmers their own building entry directly into their work space. The windows would be about 3-feet by 8-feet each, have aluminum storefront frames, and be surrounded by a new concrete area well with a grated top.



Porch soffit & cornice



Wood cornice



Plaster capital

Other areas of the exterior needing restoration and repair are the wood cornice, plaster capitals, and porch soffit. Most all exterior wood has been neglected for decades and requires extensive work to restore it. The reconditioning of most of the exterior wood is cost prohibitive and would require ongoing maintenance that is not practical in today’s world. The poor economy and accessibility for regular maintenance of the wood trim does have a practical solution in foam plastic trims.

Any historical detail can be created using formed pieces that are glue-welded together. For the more intricate details such as capitals, resin-casted pieces can be readily made. One of the advantages that plastic has over wood is its resistance to expansion and contraction caused by moisture. Because these

plastics do not swell with exposure to water, they hold there finish much better. This means less deterioration, less maintenance, less occasion for a run-down look, and a more vital-looking building.

Less frequently seen by the public, but maybe most important to keep from deterioration is roofing. The visible portion of the Mansion's roof is a decorative fish-scale composite shingle that is in relatively good condition. There are less-visible areas of roof that do need attention though – the 'flat roof' areas. The highest roof with existing skylight, porch roofs, first floor roof and a garage roof with roof drain.



Flat roof areas need repair



Clean moss & debris



Rebuild this roof

Roofing repairs will be made where needed to eliminate leaking and other detrimental effects from the collection of debris and moss. The upper-most roof will be reinforced to hold mechanical units, and these will be located away from or screened from street view. A garage roof is proposed to be rebuilt to accommodate a rooftop connector from Mansion second floor to second floor of the garage and a rooftop patio. This connector is part of our barrier-free universal design strategy that allows the building to be aesthetic and usable to the greatest extent possible by everyone, regardless of their physical abilities.

Other exterior components of our barrier-free strategy to be included in the project are a new metal exit stair from the garage second floor – to replace a deteriorating wooden stair. And a new enclosed ramp and steps to the business and client main entry from the parking lot.

The existing garage stair is not code compliant and would need significant improvements. Because of its condition, there would be ongoing maintenance and upkeep. Long-term easy-maintenance and usability needs suggest removal of the existing wood stairs, top landing, enclosed storage below and replacement with an open metal stair.

The proposed new enclosed ramp and steps (refer to rendering) are designed to allow barrier-free access to the existing garage level where the network department will be located and to the main floor, which gives access to a new elevator. This provides “accessible routes” throughout all floors of the Mansion.



Non-compliant ramp



Wood stairs



No ramp at main entry

Other modifications to the exterior envelope is the removal of the steel fire escape at the alley and removal of the opaque garage doors. The fire escape is not needed with the development of a new interior

exit stair and removing it will help eliminate staining of the brick with iron rust, moss and algae. The garage doors are recent additions that have no historical value and act as infill.

The team proposes to replace the garage doors with thermally broken energy efficient aluminum storefront to match the rooftop walkway and enclosed entry ramp. While these materials provide a surface contrast to the historical materials of the building, transparent nature of glass also permits the existing walls of the Mansion to remain visible and connected with history. The glass and metal frame also mimics the existing rooftop skylight and allows daylight into the building, creating a more energizing indoor environment. In this way, the storefronts provide a timeline marker for future generations to look at this renovation and recognize its time within the persisting history of the Mansion.

Bringing new materials into the construction palette on a renovation is an approach that cannot be avoided in order to meet new codes and energy compliance regulation. If their uses are sympathetic to the original structure there is an interdependent relationship that can develop to help inform the history - to act as markers-of-time for when an existing building was modified. Similar approaches were used in the Mansion throughout its previous life. The introduction of a new skylight, sheet metal cornices, beams and columns,)

Interior Work

The work inside the Mansion is significantly more extensive than the exterior. A barrier-free environment will introduce a new elevator to travel between four floors, accessible restrooms on each floor, accessible routes, areas of refuge, accessible exit stairs and other components of universal design.

High-tech business operations want large open spaces that allow for flexibility as business functions and technology change over time. While large work areas are preferred, the new conference rooms and breakout spaces that assist with collaboration and innovative thinking are valued too. Enclosed administrative offices provide privacy and will have glass walls for visibility when wanted.

As part of the concept for the second floor Conference Center, we will re-purpose historic components that were used in the residential apartments – such as mahogany built-in cabinets, stair railings, doors and relites (interior windows). Mahogany is a tropical hardwood not often seen today as it was used in the Jones & Jones addition. This use of mahogany wood is intended to give these spaces a special opulence and maintain a sense of connection to the history of the Mansion.

The central atrium, which provided glorious daylight into the inner rooms of the apartments will be modified to give daylight to the darkened attic, which will become the third floor. Modification of the atrium will remove its sidewalls to open it to give third floor design staff daylight and view of the sky. Existing dormer windows, located close to the floor will provide additional views and daylight to this new floor of the building.

The installation of the new elevator is no small feat as it will require excavation and demolition in undisturbed areas of the lower level. Manual labor and small machinery will help, but it is still within cramped quarters. The shaft needs to fit tightly against an existing foundation wall to provide room on upper floors for restrooms and hallways – there is not much wiggle room for the elevator location.

The elevator will have four stops and requires modification of the flat-roof for the shaft to have sufficient height. Locating the elevator within the flat-roof area is one limitation factor; keeping other areas of the building flowing and uninterrupted with the elevator shaft was of high importance too.



Wall & floor demo



Soil excavation



Floor & equipment demo

Vertical travel is an important part of exiting for multi-story buildings in emergency situations. We are utilizing an existing stairway (modifying for 2-hour fire-resistive construction) to get people out at the first floor level onto the south yard and alley. We propose using the existing cadaver lift shaft to create a new 2-hour fire resistive exit stair that will exit people onto the alley to the east.

Triggering factors for much of this vertical travel is the utilization of the previously un-used attic space. A lot of effort is being put into the creation of a third floor level that will provide 2700 square feet of day lit space for the staff designers. Some of the unique elements of this floor, as mentioned before, are the skylight, dormer windows, high ceilings sloping down to 7-feet, exposed brick wall, and a large steel truss (to be left exposed as an architectural feature.)



Low dormer windows



Exposed brick wall



Exposed steel truss connection

As part of creating open spaces, new steel columns and wood beams will be introduced to carry vertical and lateral loads. These structural elements will bring a new and contemporary aesthetic to the interiors. As is seen in many restored old masonry-walled buildings, new seismic bracing is part of the renovation.

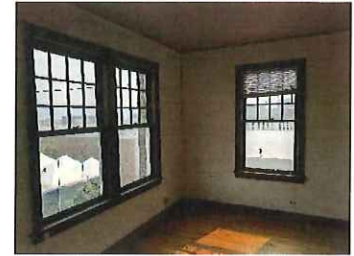
The view of the skylight will be a bit more restricted for those on the second floor, but be opened to those on the third floor. The second floor will retain an aperture, but it will be reduced, and still give them access to this daylighting feature. The second floor will still have the benefit of windows in the surrounding exterior walls.



Existing skylight



SW corner of conference center



SE corner of second floor

We will salvage the mahogany woodwork found in the apartments – relites, doors, curio cabinets, and railings –re-purpose them in the Mansion Conference Center. The Conference Center will become an exhibit area of artifacts of the Mansion’s history, and include a catering kitchen, large conference room, smaller breakout rooms, storage closet, restrooms and other spaces within the west end of the building.



Mahogany door



Mahogany millwork & cabinet



Door hardware

The use of the existing garage level and its second floor seemed to fit very nicely for the small office/home office (SOHO) network techs and employee breakroom, respectively. The challenge that both areas have is a change in elevation from the main building. If we are to create new spaces that function for all staff and visitors, we also need to create new means of access to them. Universal design comes into play again with the installation of ramps to meet mobility needs.

Providing ramps and stairs not only means additional cost for construction, it also takes lots of space. To help balance the need for access and useable floor area, the team proposes the development of an enclosed entry ramp and enclosed rooftop walkway (both mentioned earlier in the “Exterior Work” section of this report.) The enclosed ramp allows double-duty access to both the garage floor and first floor levels. The rooftop walkway requires the rebuilding of a portion of the garage roof to allow floors to meet, and this new roof framing performs double duty by also creating a rooftop patio for use by staff.

Construction Approach

This project is an ambitious undertaking. The team is striving to achieve a balance of many goals, while meeting realistic funding and schedule limitations. Our ideal is to maintain a continued historic recognition and connection with the community; give a renewed consistency of appearance that was lost from work done earlier; utilize new materials that have significantly improved long-term life-cycle & low maintenance requirements; and meet essential code and other regulation prerequisites to allow this large renovation to happen.

As a way to help meet some realities of cost and time, this renovation will have multiple work–phases as outlined below. The project schedule has a move-in timeline of December 2018 and work is proceeding

with that in mind. We plan for essential floors to be finished and operational for Legwork and Firefly to physically move staff and equipment into the Mansion and resume business.

It is planned for follow-up phases to continue to allow for business expansion. Complete build-out work is expected for first half of 2019. This gives the owners flexibility for changes in financial, weather, and staffing conditions

Phase I - the renovation of the exterior shell: masonry restoration by cleaning, repointing & sealing; window replacement and new trim inside & out; repair of roofing; and installing universal access to the main entrance. Concurrent interior work will include excavation for and installation of the new elevator; demolition of existing walls and installation of new structural elements; construction of a new exit stairway; installation of new mechanical, electrical and plumbing systems.

Phase II - the reframing of the garage roof, walkway & patio; finalizing buildout of the attic into a new occupied third floor; completing the installation of mechanical, electrical and plumbing systems to unfinished spaces.

Phase III - finish repairs to site elements and parking lot, and landscape installation.

Conclusion

Today's construction materials and methods are significantly different from those used earlier when the Mansion was first built and those times when additions were made to it. At present, 'sheet goods' are extremely common - plywood, OSB, wall board, flooring, roofing, and other materials; molded plastics help bring detail without the tedious manual labor and upkeep of wood; improved glass products bring better energy efficiency and transparency for use both indoors and outdoors.



NW corner of the Mansion (proposed c2018)

We intend to bring new materials into the building to help preserve it for another 100 years, regain a visual sense of historical order and meet new building codes and energy conservation requirements. By introducing new clad replacement windows, aluminum-framed glazing, gypsum wall board, plastic trim,

flooring, elevator, mechanical, electrical and plumbing systems - the contemporary alternatives to plaster walls & ceilings, wood & sheet metal trim, wood-framed windows, linoleum, knob & tube, we can transform an historical object into a vital new home for growing businesses.

Changes to the type of businesses occupying the Mansion bring completely new functions to be accommodated:

- workspaces for computer systems to be built and serviced - vehicle garages are not garages anymore
- other interior spaces need to meet the requirements of software programmers, technical support, sales/marketing staff, web designers, and business conferences – not for a family residence or funeral home
- new vertical pedestrian circulation is required for universal access and emergency egress, which means a new elevator shaft and stairwell shaft require fitting within the building – a cadaver lift is no longer needed
- universal access and needed ramps will be provided throughout
- the attic space will be finished and re-purposed for use by web designers and graphic artists – unused space needs to be useful
- storage for maintenance equipment is needed – no more need for a crematory furnace

This is an exciting time in the life of the Mansion. A time filled with renewed optimism and ambition to preserve a portion of Wenatchee's history and help propel it forward into the future. History is truly being made by preserving this piece of history!



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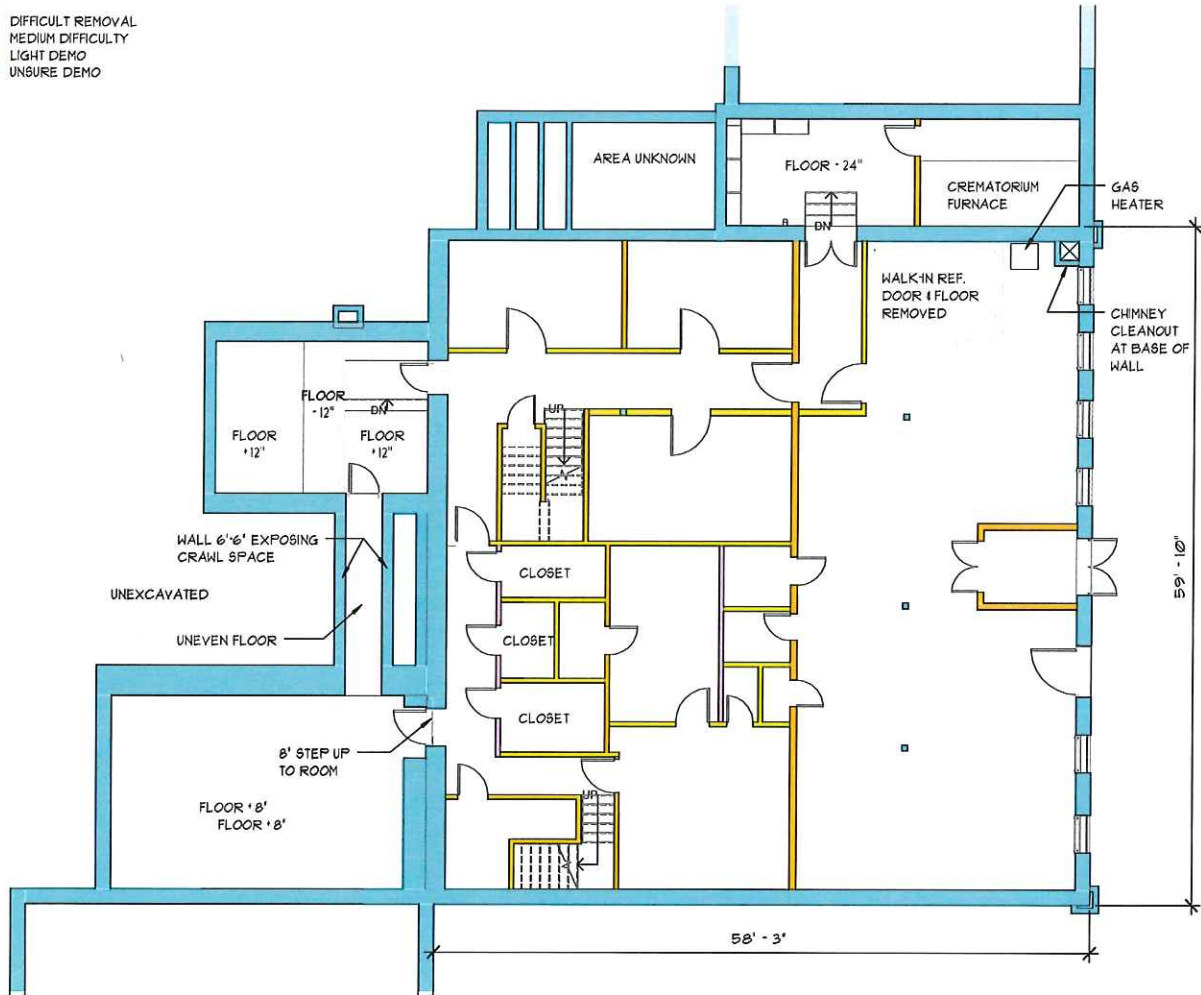
EXISTING CONDITIONS

FLOOR PLANS



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- UNSURE DEMO



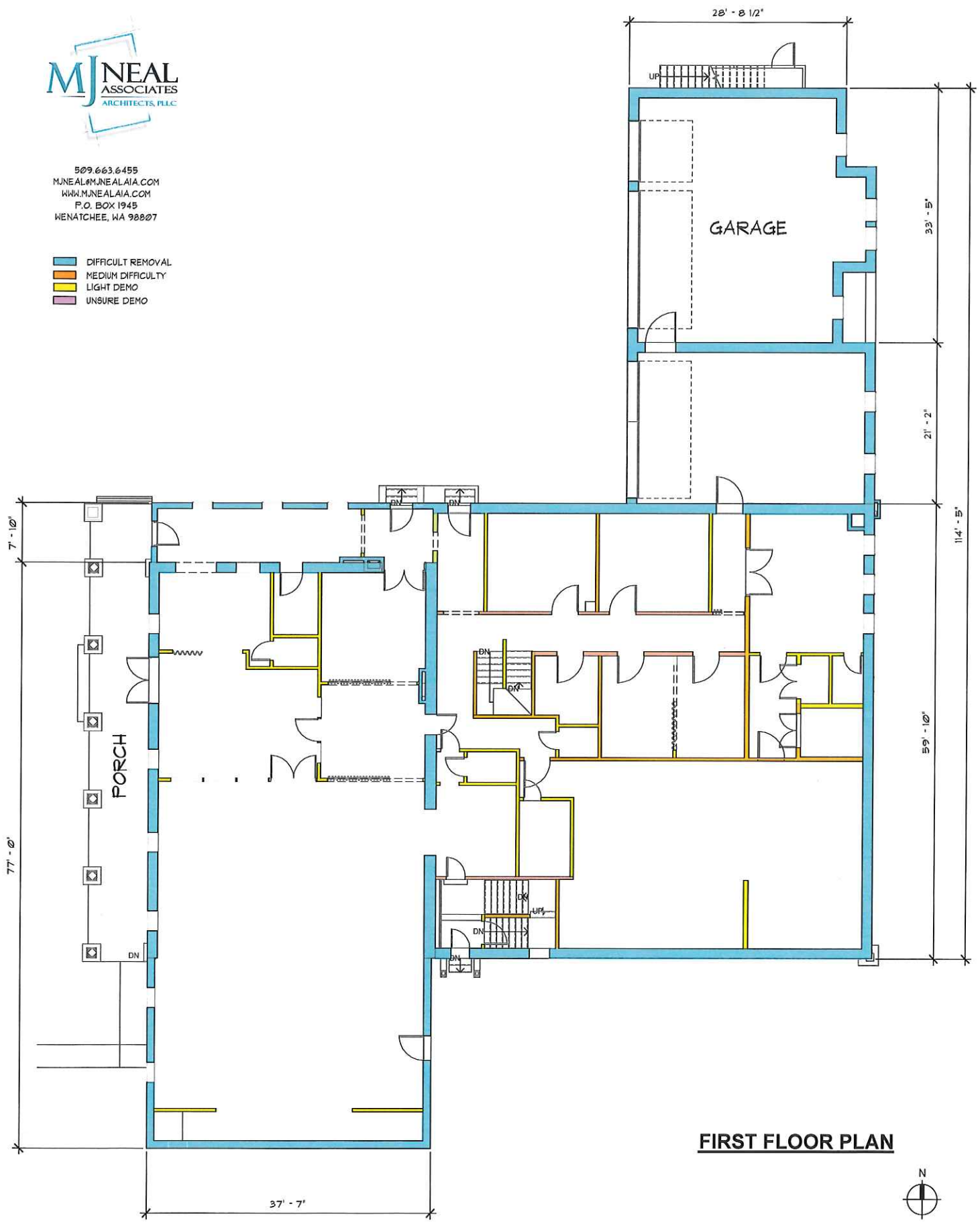
LOWER FLOOR PLAN





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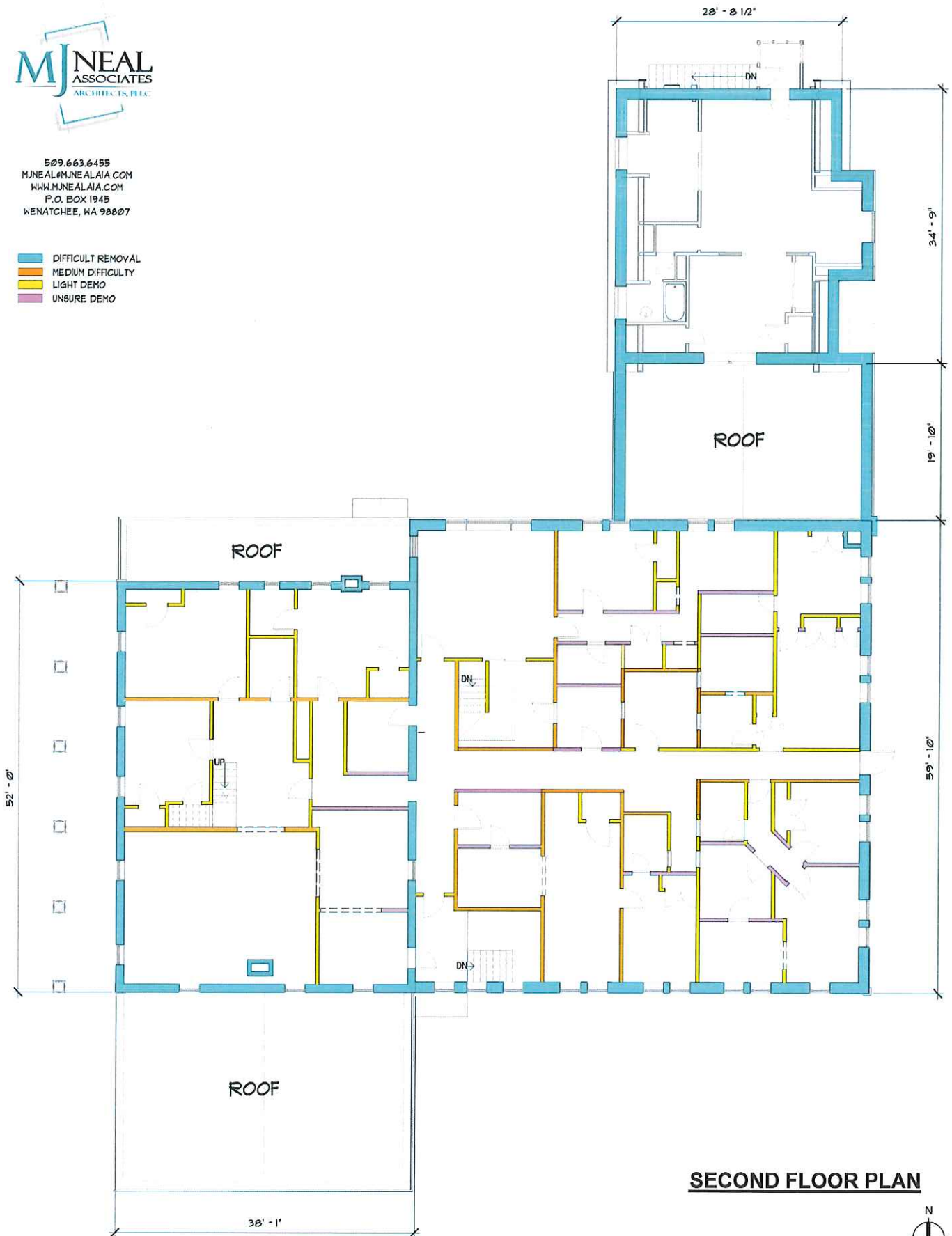
FIRST FLOOR PLAN





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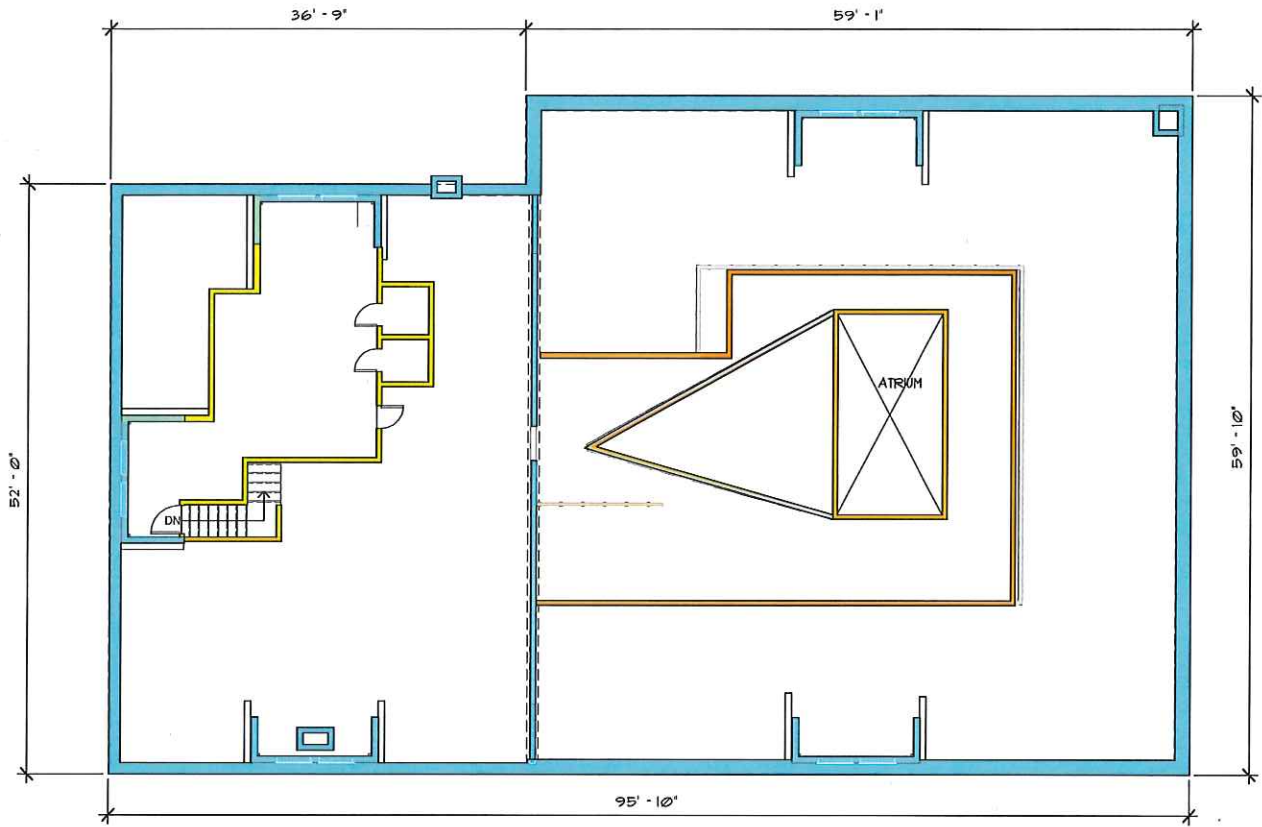
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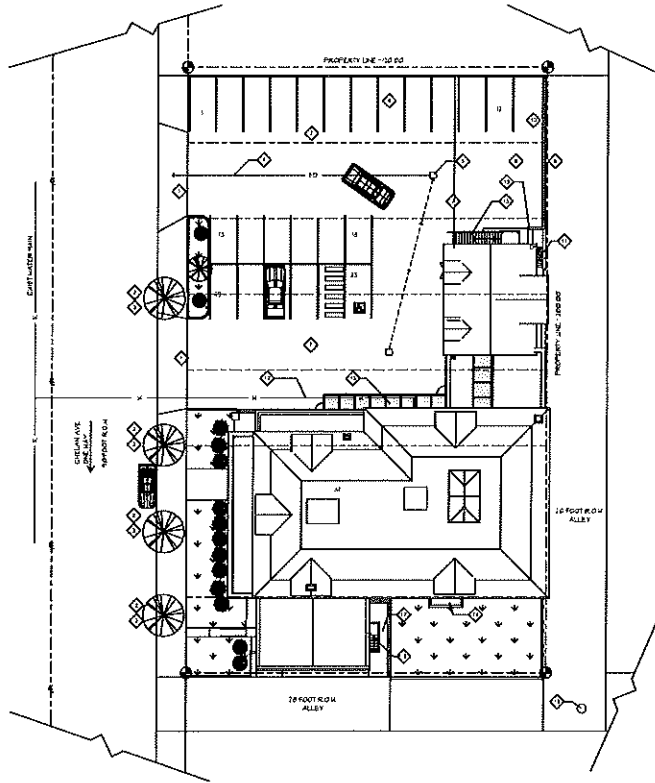
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THIRD FLOOR PLAN





SITE PLAN KEYNOTES

- 1 REPLACE CURB CUT OVERLAPE
- 2 REPLACE STREET TREES IN
- 3 REPLACE UP OF SIDEWALK AT RAMP AND UP TREES
- 4 NEARBY CONNECT TO CITY WATER
- 5 EXIST CO TO REZON
- 6 REZONE PARKING STALLS
- 7 RECALC ASPHALT
- 8 SUPPLEMENTAL ENGAGEMENT AT ALLEY
- 9 REPLACE MET WALL
- 10 RECALC WALL
- 11 NEW STAIRS TO ALLEY
- 12 RECALC 1 INSTALL NEW WATERLINE
- 13 INSTALL NEW RAMP
- 14 RECALC AREA WALL
- 15 RECALC STAIRS
- 16 REINSTALL EXIST METAL STAIRS
- 17 RECALC WALKWAY CANS
- 18 EXIST SAN SEWER MANHOLE TO REZON
- 19 RECALC PART OF EXISTING HALL TO ACCESS REAR STAIRS

SITE PLAN LEGEND

- FENCE
- ☐ FIRE HYDRANT
- ⊕ CANAL-HEAD LIGHT POLE - 800 ELECTRICAL
- ⊕ POSTMOUNTED SIGN
- ⊕ POSTMOUNTED BOX - 8 EACH-EDGE

SITE PLAN
1" = 16'-0"



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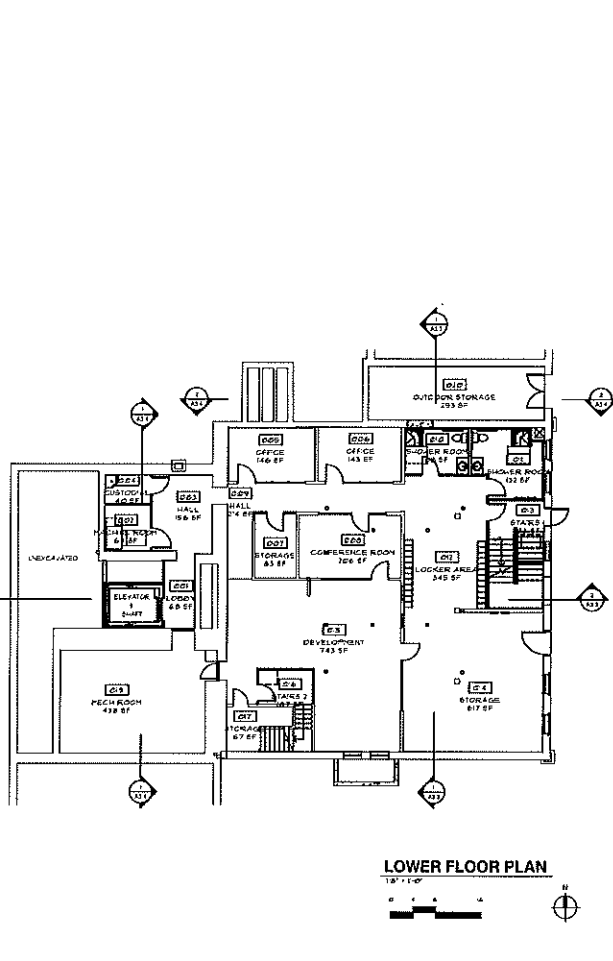
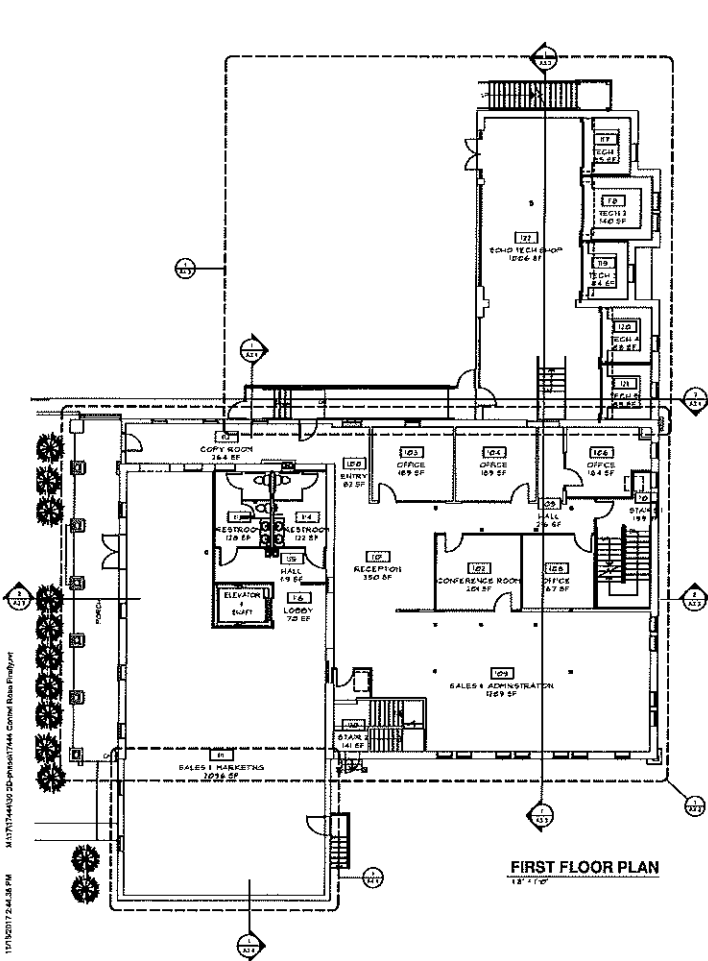
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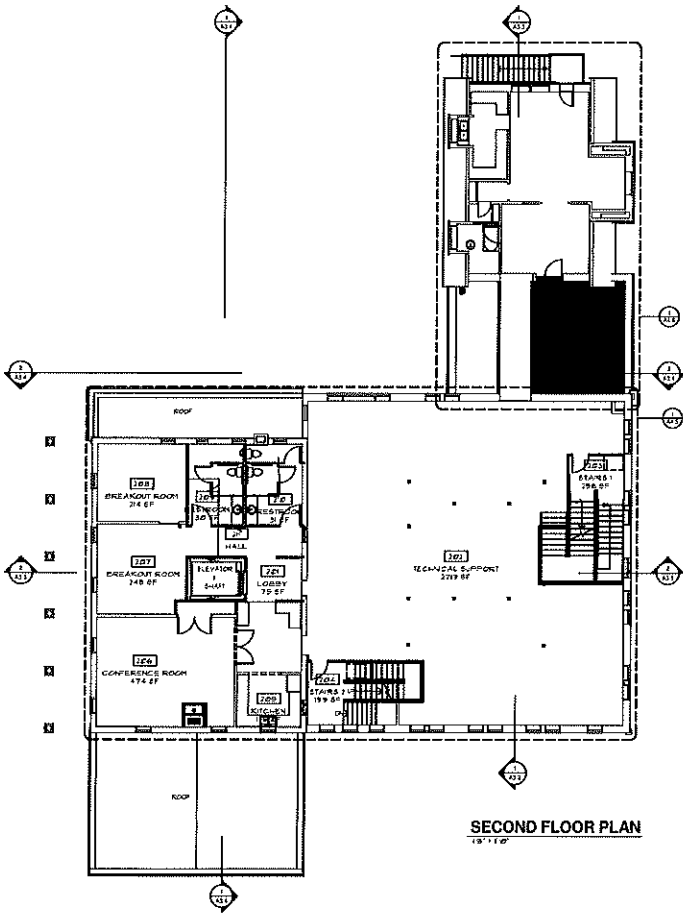
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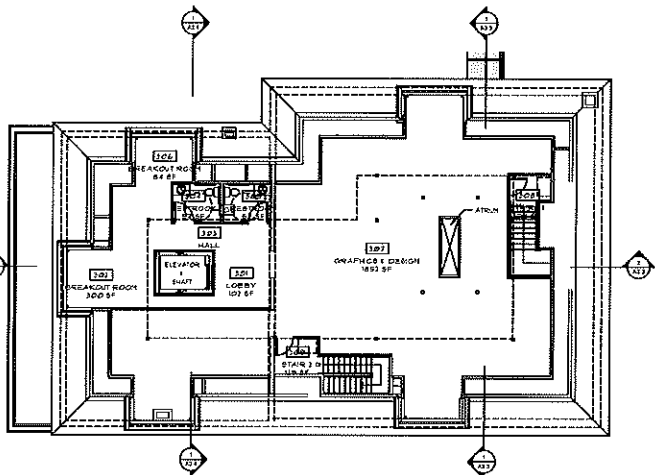
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SECOND FLOOR PLAN
18' x 110'



THIRD FLOOR PLAN
18' x 110'



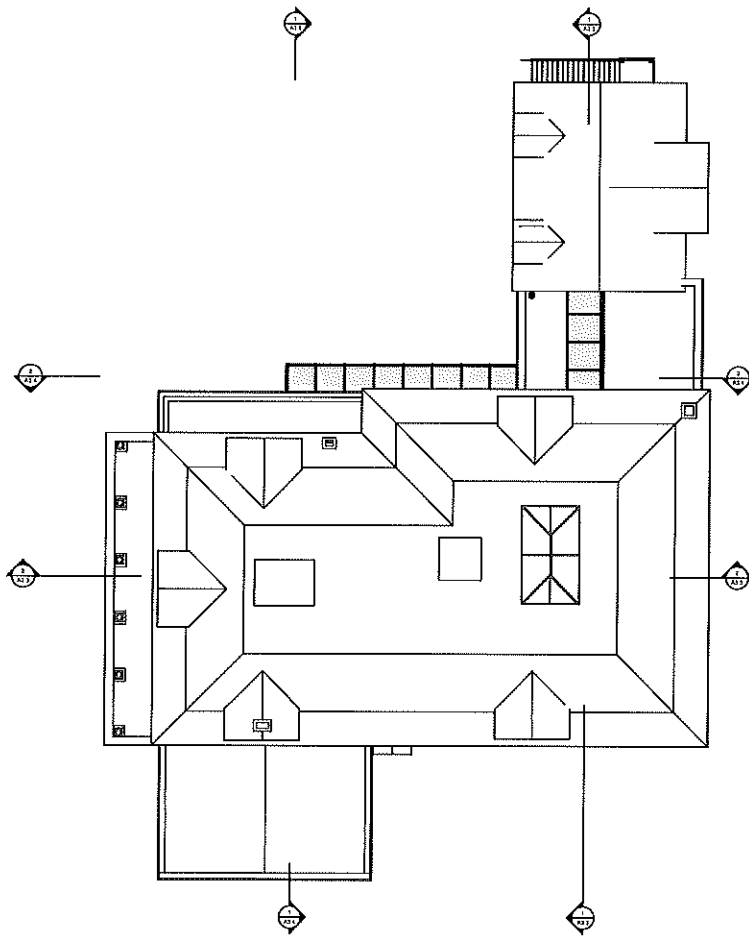
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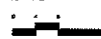
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ROOF PLAN



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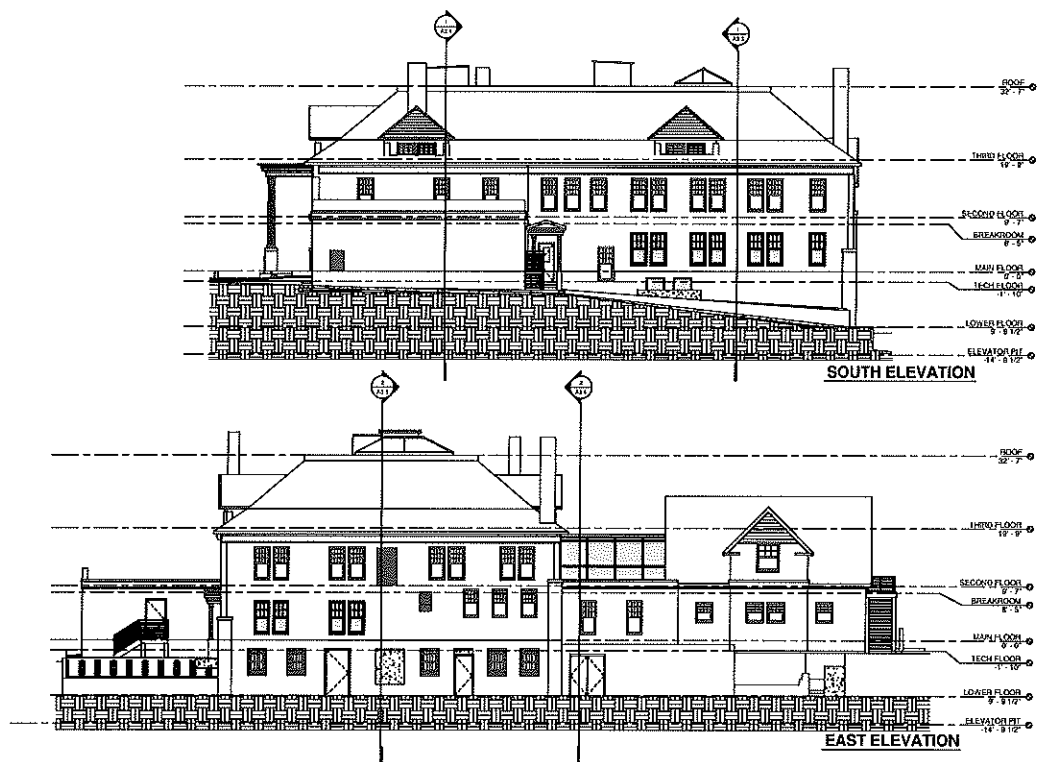
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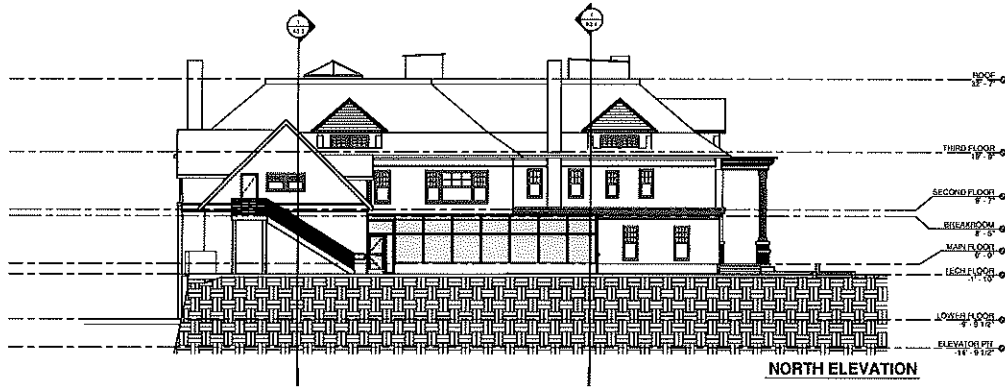
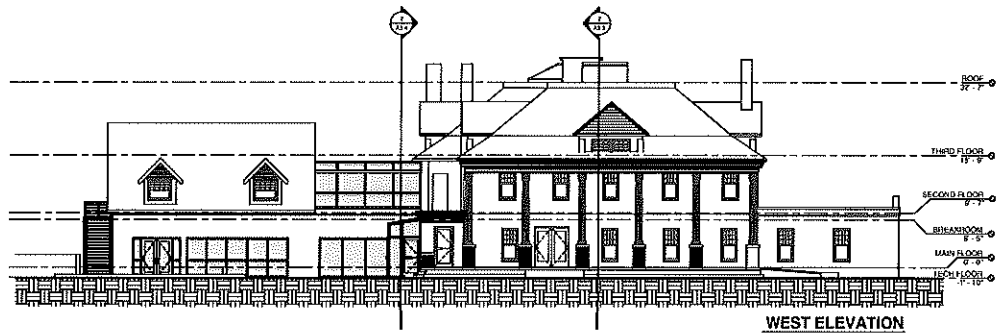
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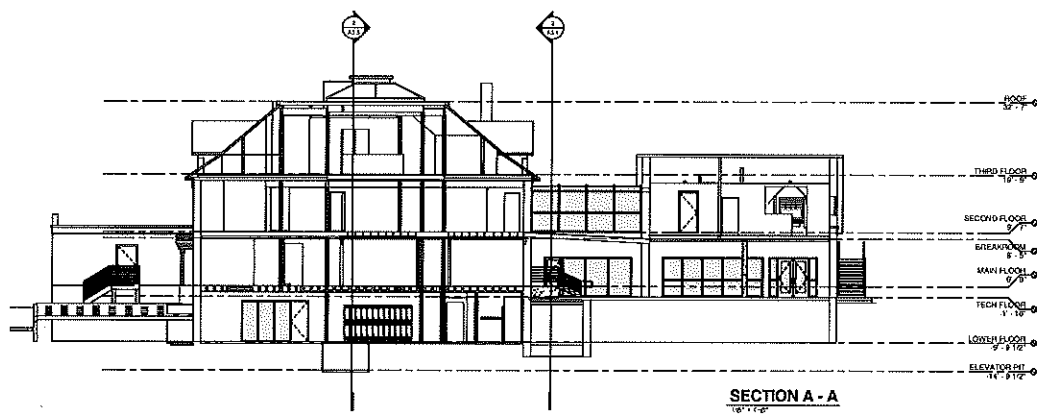
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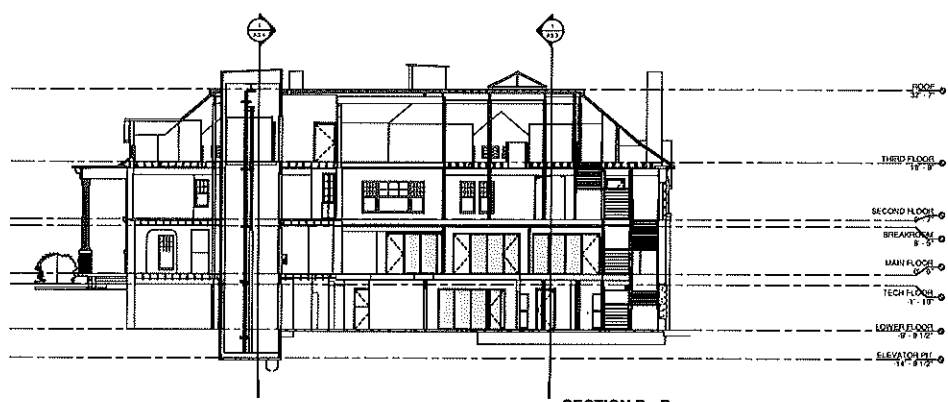
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SECTION B - B
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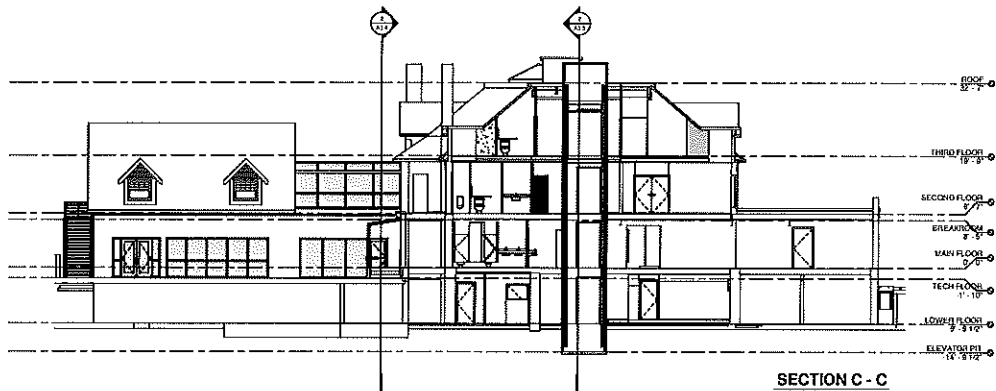
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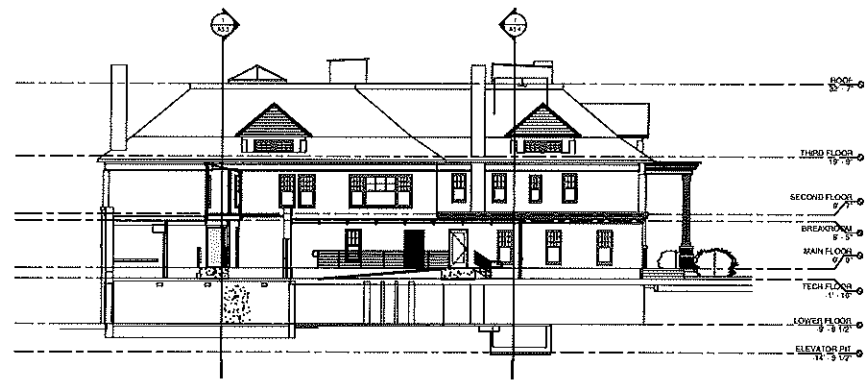
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SECTION C - C
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SECTION D - D
1/8" = 1'-0"

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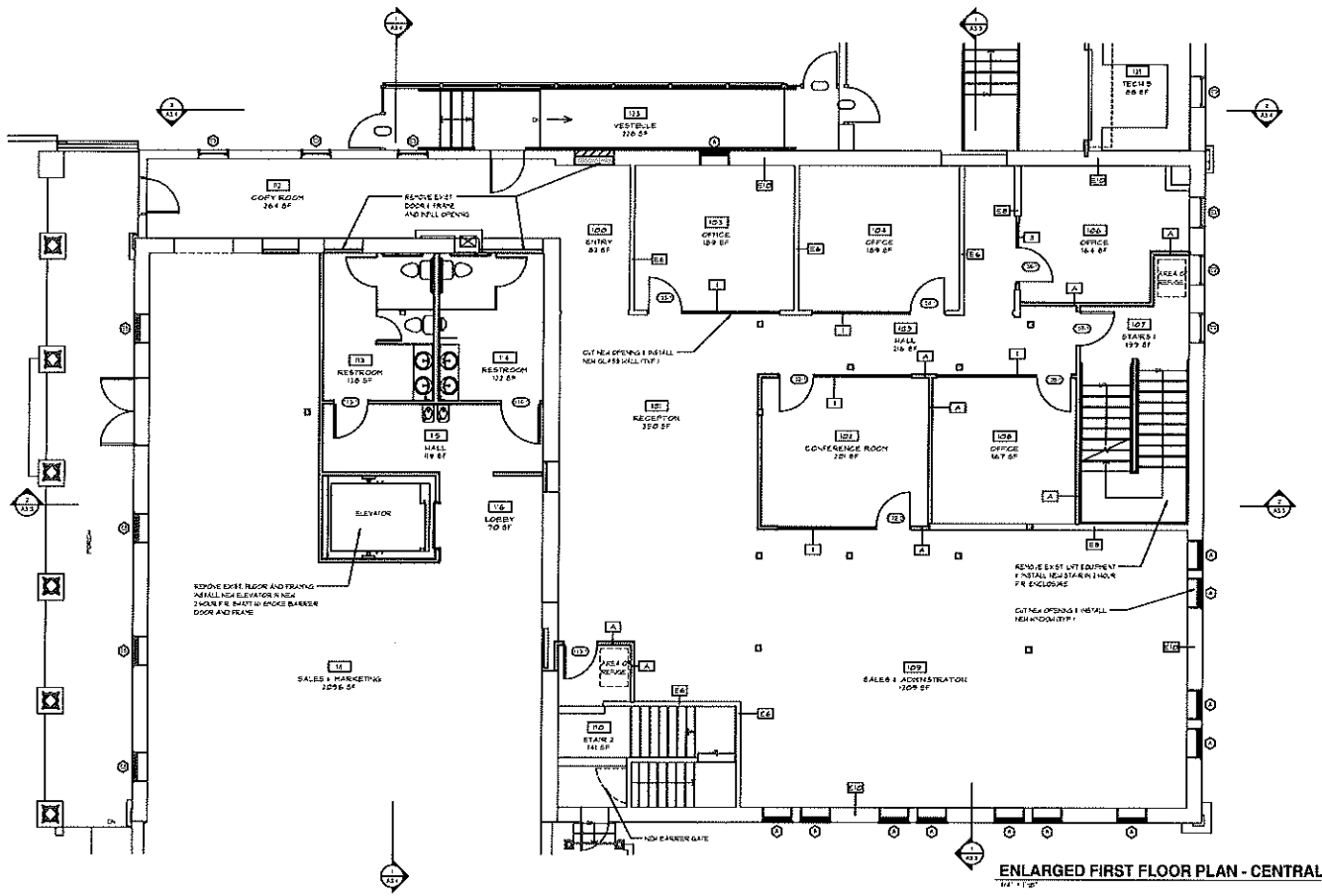
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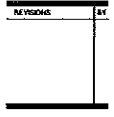
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ENLARGED FIRST FLOOR PLAN - CENTRAL
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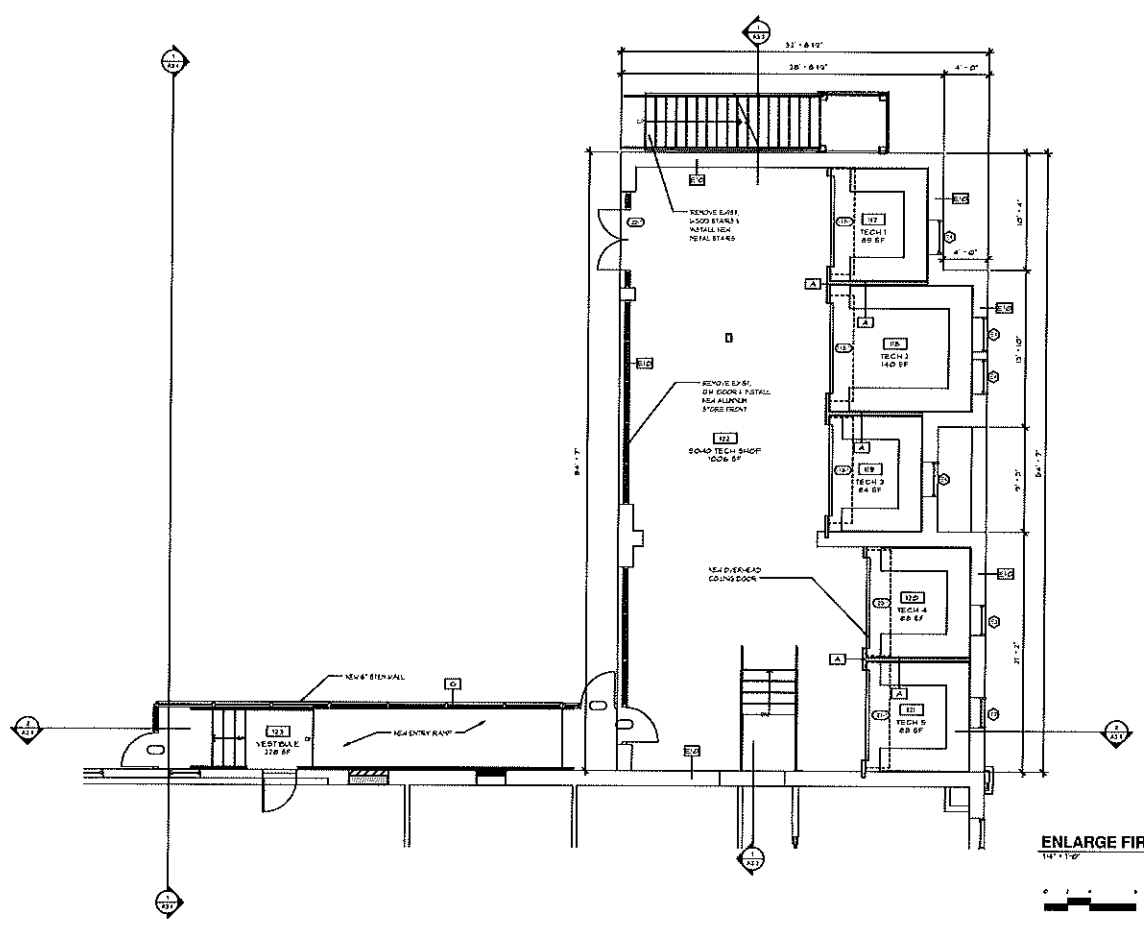
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ENLARGE FIRST FLOOR PLAN - GARAGE
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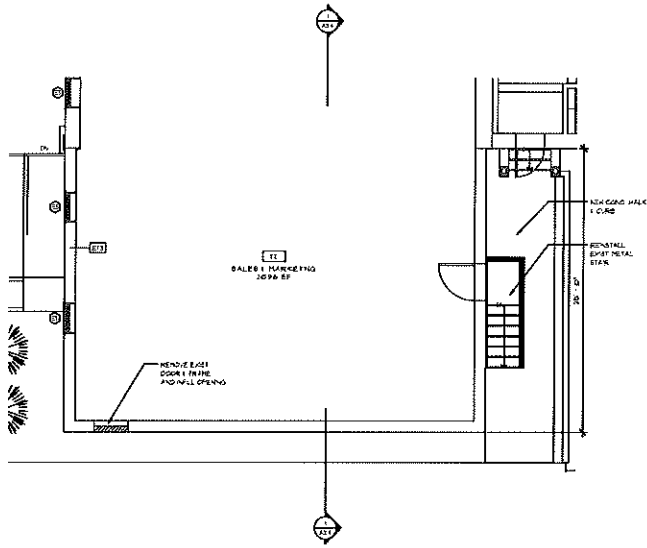


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ENLARGED FIRST FLOOR PLAN - SOUTH

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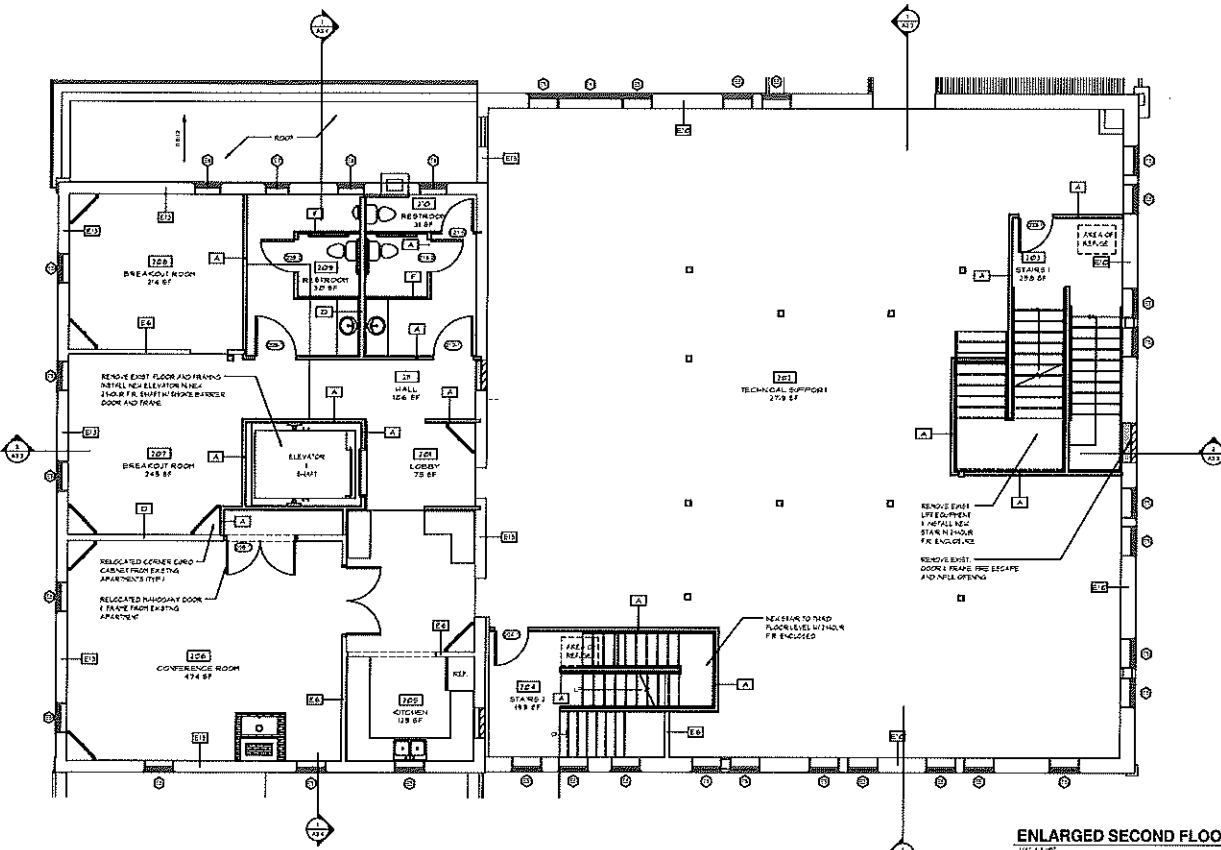
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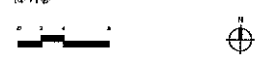
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ENLARGED SECOND FLOOR PLAN - CENTRAL



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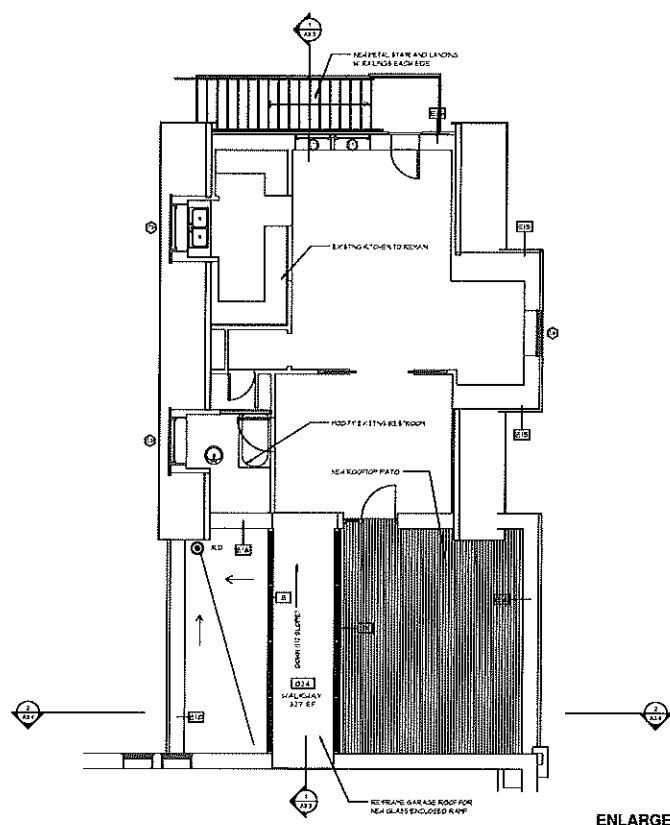
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ENLARGED SECOND FLOOR PLAN - GARAGE
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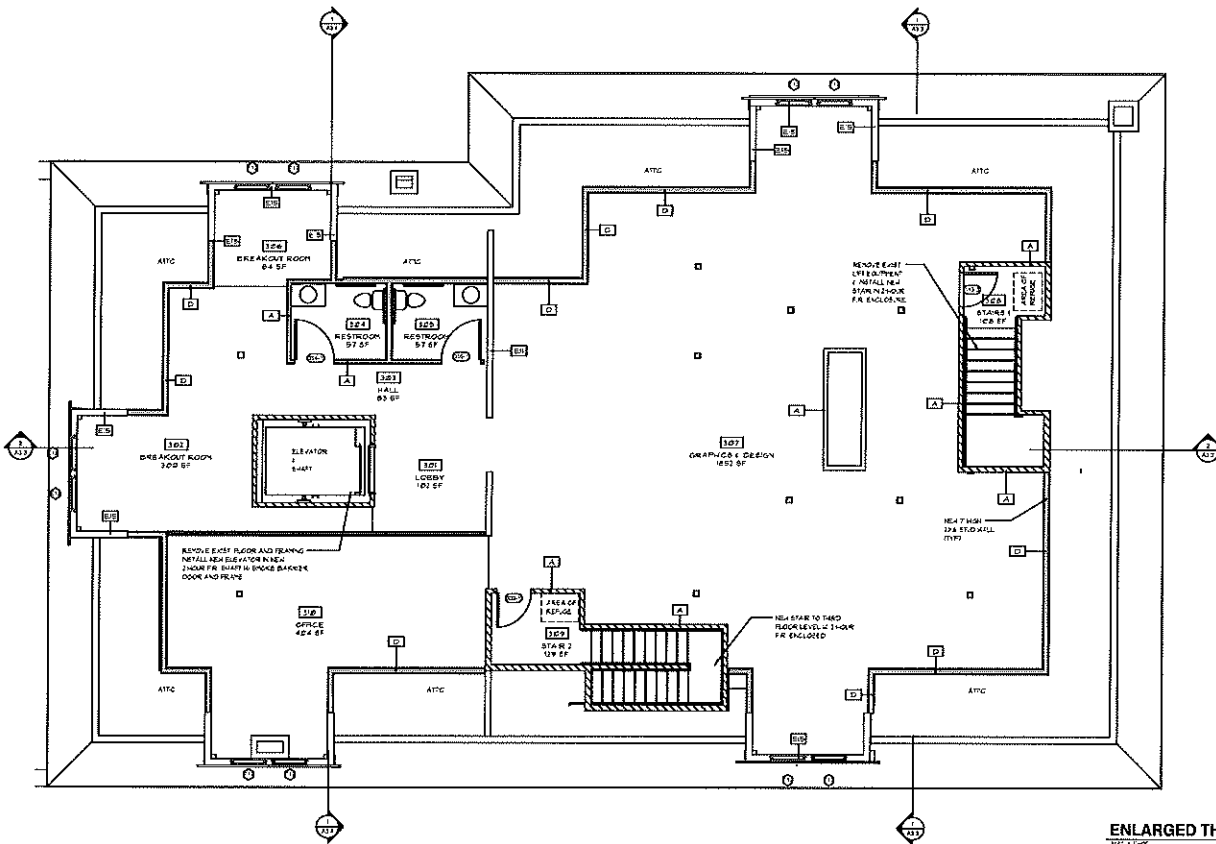
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ENLARGED THIRD FLOOR PLAN
1/2" = 1'-0"



REVISION	BY



309 GEEB OVAL
MOUNTAIN VIEW MANOR
100 S. 10TH
WINDSOR, PA. 15360

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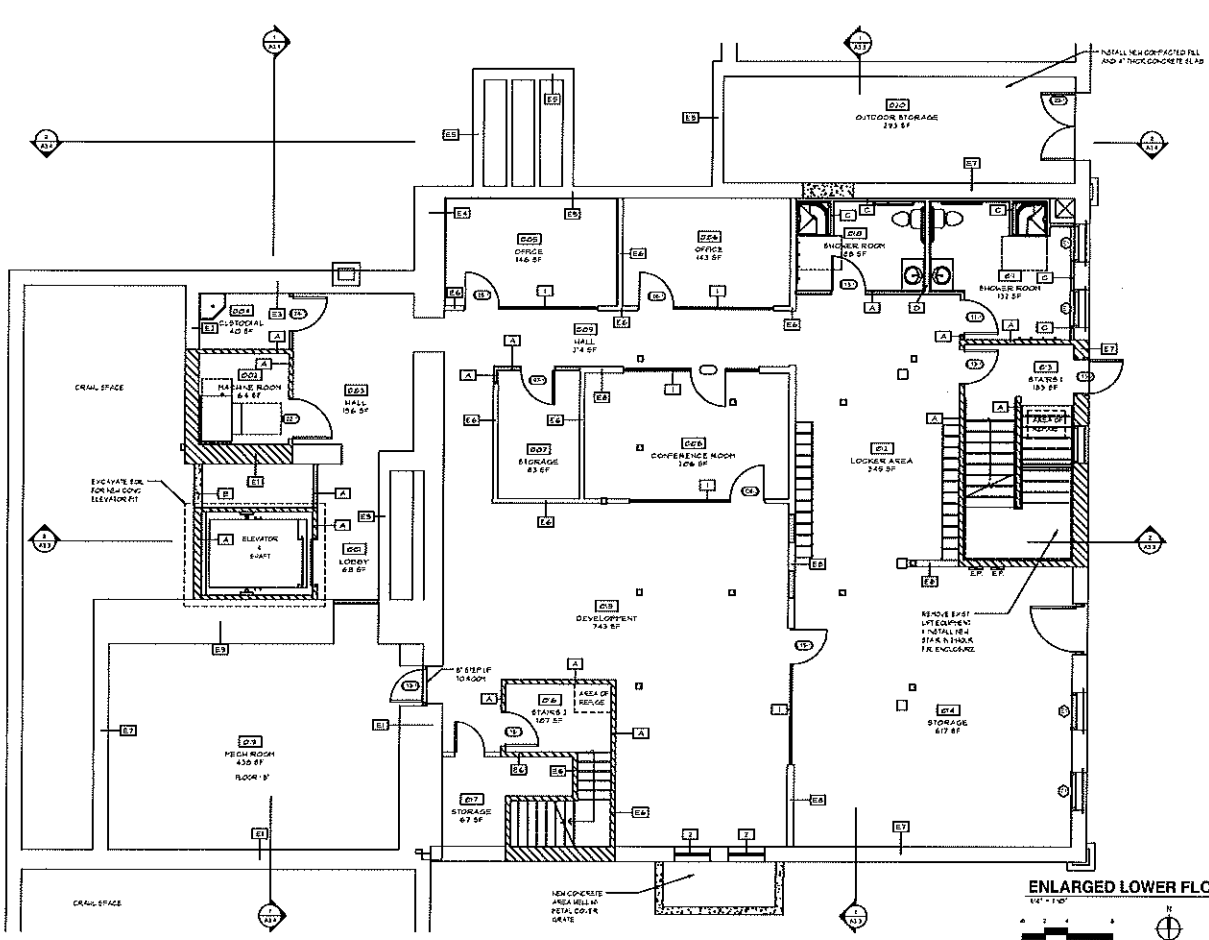
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KJD INVESTMENTS, LLC
CONRAD ROSE MANSION
21 S. CHELAN AVE, WENATCHEE, WASHINGTON

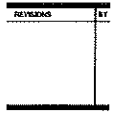
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A4.7

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ENLARGED LOWER FLOOR PLAN
 1/4" = 1'-0"



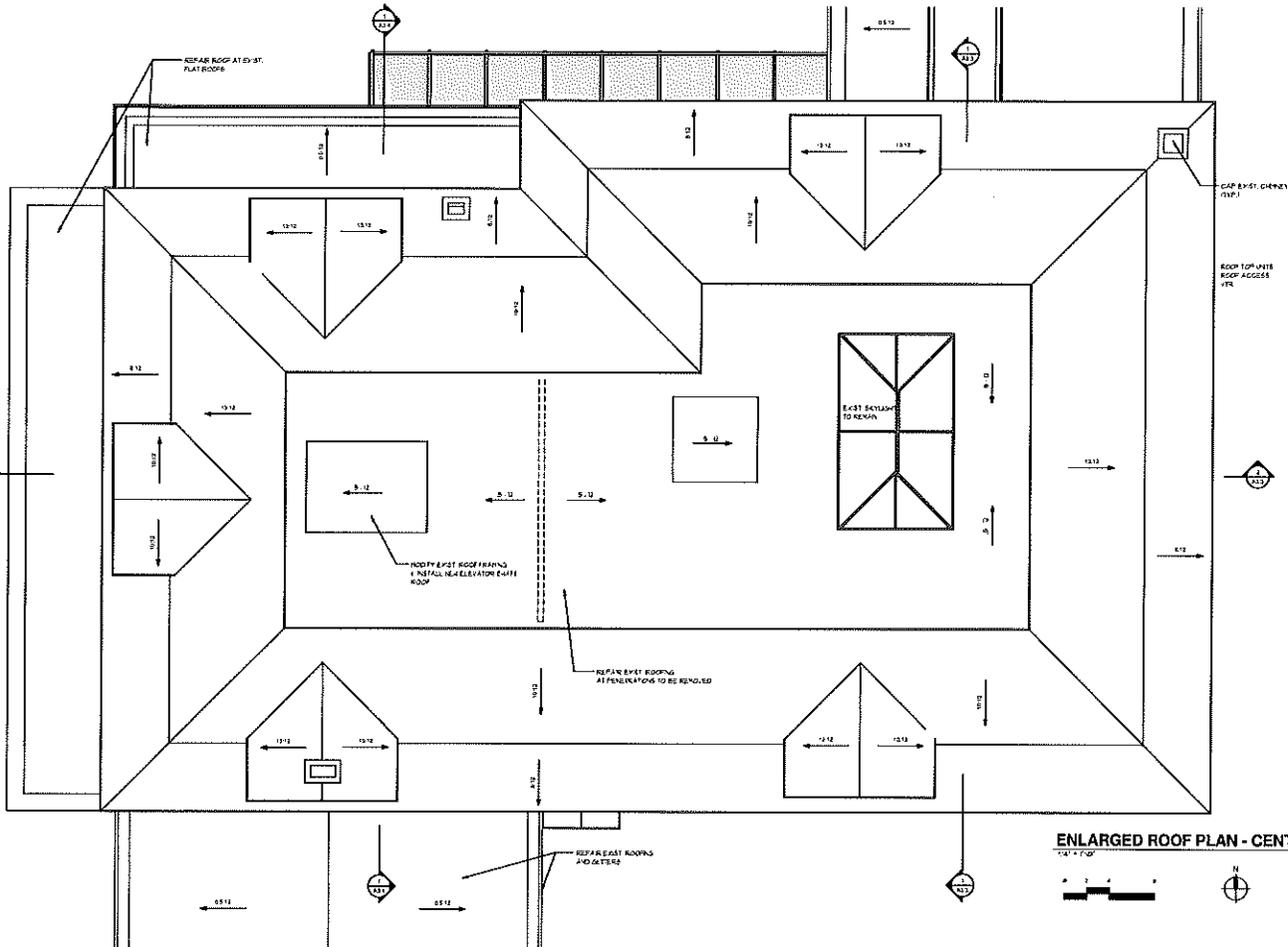
MJ NEAL
 ASSOCIATES
 502 GALERIE
 WASHINGTON, DC 20015
 WENATCHEE, WA 98502
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ENLARGED ROOF PLAN - CENTRAL
1/4" = 1'-0"



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MJ NEAL
ASSOCIATES

505 464 6155
MONTICELLOVALE.COM
575 WILKINSON
PO BOX 1502
WINCHESTER, VA 20397

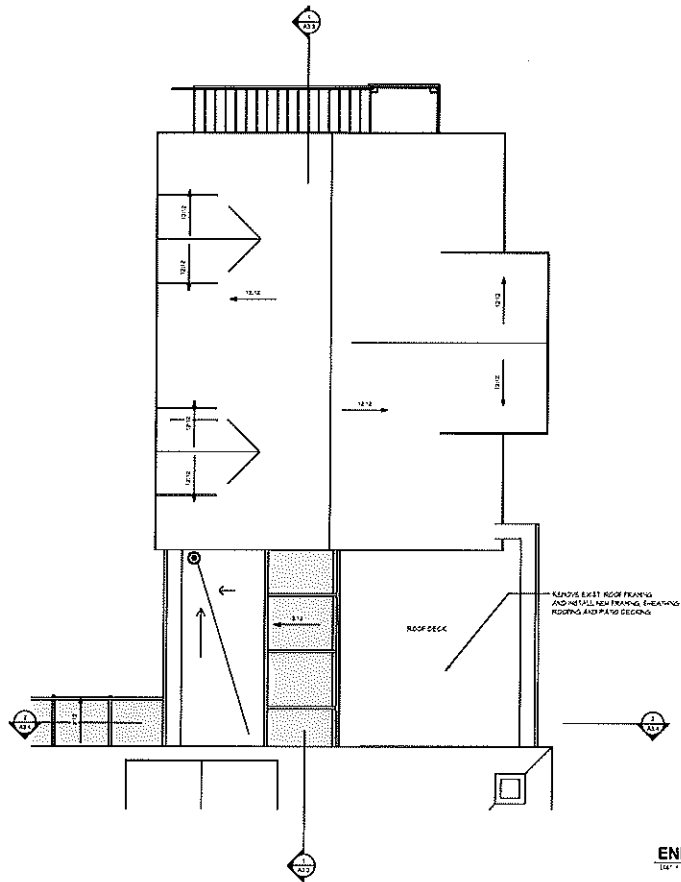
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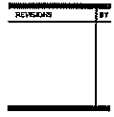
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ENLARGED ROOF PLAN - GARAGE
(12" = 1'-0")



360 461 6143
 MANLYWOODMANSION.COM
 4000 WASHINGTON
 P.O. BOX 1840
 WENATCHEE, WA 98809

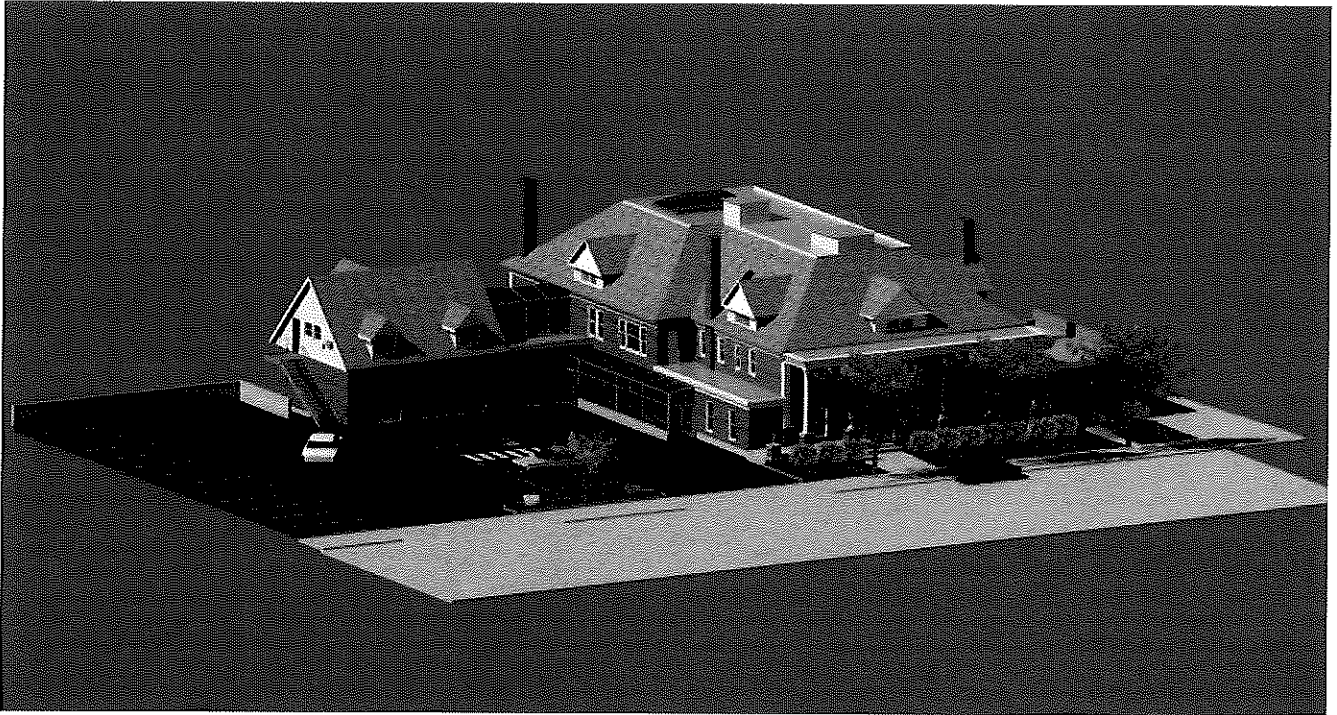
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 CONRAD ROSE MANSION
 21 S. CHELAN AVE, WENATCHEE, WASHINGTON**

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KJD INVESTMENTS, LLC
CONRAD ROSE MANSION
THE MANSION

Scale: 1/2" = 1'-0"

2017-11-09



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KJD INVESTMENTS, LLC
CONRAD ROSE MANSION
THE MANSION
Scale: 1/2" = 1'-0" 2017-11-09

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